



**The Farmhouse, Old Bagillt Rd,
Bagillt, Flintshire CH6 6ER
(FUL/000502/22)**

May 2022 V 1.0



Historic Building Record Level 2

Project Code: A0416.1

Report no. 0400

Event PRN: 214103



æon archaeology

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Report no. 0400 / Event PRN: 214403

Historic Building Record Level 2

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Project Code: A0416.1

Date: 05/03/2023

Client: Jill Hardy

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The Farmhouse, Old Bagillt Rd, Bagillt, Flintshire CH6 6ER (FUL/000502/22)

May 2023 v1.0

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1.0 INTRODUCTION

Comisiynwyd Aeon Archaeology gan Jill Hardy, o hyn ymlaen 'y Cleient,' i gynnal cofnod adeiladu hanesyddol lefel 2 o'r hen adeilad allanol yn y Ffermdy, Panton Hall, Old Bagillt Road, Bagillt, Sir y Fflint CH6 6ER (yn canolbwyntio ar NGR SJ 19975 75406) cyn adnewyddu'r tŷ.

Gofynnodd y Cleient am Ganiatâd Adeilad Rhestredig (LBC/000507/22) gan Gyngor Sir y Fflint, 'y Cyngor' o hyn ymlaen, ar 6 Hydref 2022 ynghyd â chais am ganiatâd cynllunio llawn (FUL/000502/22), y ddau ohonynt ar agor am gyfnod ailgyhoeddi. Fodd bynnag, gwnaed yr argymhelliad canlynol ar gyfer gwaith archeolegol gan yr Archeolegydd Rheoli Datblygu (DMA) yn Clwyd & Powys Archaeological Trust (CPAT) fel rhan o'r cyfnod ymgynghori ac yn eu rôl fel cynghorwyr i'r Cyngor

Aeon Archaeology was commissioned by Jill Hardy, hereafter 'the Client,' to carry out a level 2 historic building record of the former stable/outbuilding at the Farmhouse, Panton Hall, Old Bagillt Road, Bagillt, Flintshire CH6 6ER (centred on **NGR SJ 19975 75406**) in advance of reinstatement of the dwelling (Figures 01-03). Reinstatement of the farmhouse, including what is now referred to as the "stable wing", was approved on 01/05/09 (Appeal A: APP/A6835/A/08/2093437 & Appeal B: APP/A6835/E/082093439) and the principal wing has since been sympathetically reinstated. It is externally complete but applications to amend the remaining wing have been submitted.

Listed Building Consent (**LBC/000507/22**) was applied for by the Client from Flintshire County Council, hereafter 'the Council', on the 6th October 2022 along with an application for full planning permission (**FUL/000502/22**), both of which are open for republication period. However, the following recommendation for archaeological recording and mitigation were made by the Development Management Archaeologist (DMA) at the Clwyd Powys Archaeological Trust (CPAT) as part of the consultation period and in their role as advisors to the Council:

The Farmhouse has been fully rebuilt and modernised with the stable block altered during the 19th and 20th centuries. However, photographs of test holes created by the applicant show earlier phases beneath the current structure of possibly 18th c date. The stable building is now roofless and it is clear that there has been some wall reduction and internal floor reduction in 2018/2019. The building itself is of at least local architectural and historic interest and a Level 2 building recording would be necessary prior to its demolition. The foundation works will also reveal more of the earlier structure and therefore a condition of a Watching brief should be placed on all excavations and groundworks due to the potential for sub-surface archaeology.

We would therefore recommend that an appropriate level of building recording is completed to record the house in its current form. In this case we would advise that a Level 2 historic building survey is completed in accordance with the Planning Policy Wales (Feb 2021) and TAN 24 (May 2017) guidance, and an appropriate condition is supplied below.

The Level 2 survey would include a detailed photographic survey, written descriptive survey, phased plans of building development and a measured survey using annotated architects plans where these are available, or a new survey where architects plans are not of sufficient detail.

The conditions in this case would be:

1. Level 2 Building Recording

Suggested planning condition to facilitate a programme of historic building recording, the equivalent of an Historic England Level 2 building survey, in order to allow an adequate analytical record of the building to be made prior to alteration.

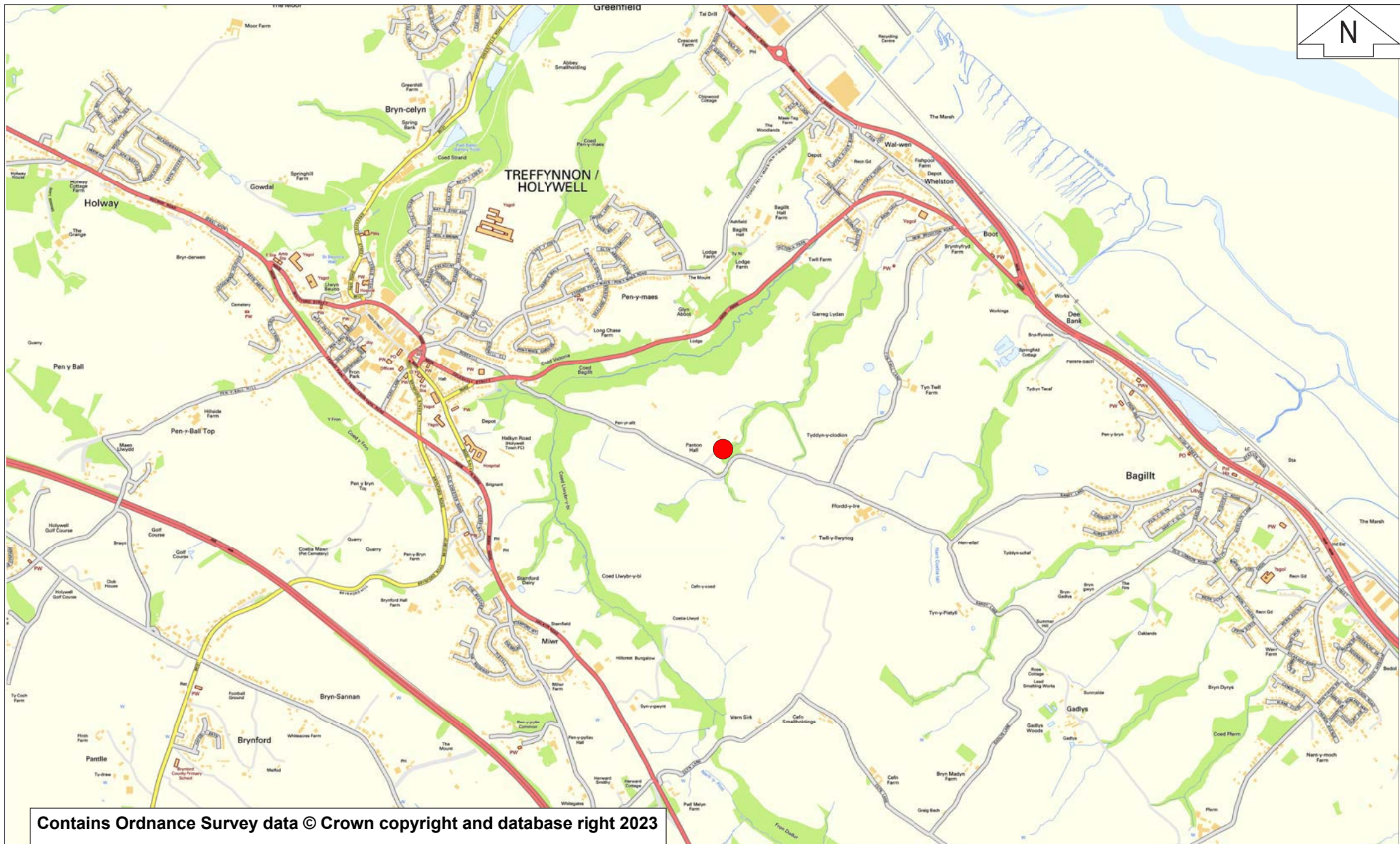
No development shall take place until a programme of building recording and analysis~ equivalent to an Historic England Level 2 building survey, has been secured and implemented~ in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.

The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures.

A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welsh pool, Powys, SY21 8RP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670). After approval by the Local Planning Authority, a copy of the resulting report should also be sent to the Historic Environment Record Officer, Clwyd-Powys Archaeological Trust for inclusion in the regional Historic Environment Record and a copy of the report and whole project archive should also be sent to the National Monuments Record, RCAHMW

Reason: To allow an adequate analytical record of the building to be made, before conversion, to ensure that the buildings origins, use and development are understood and the main features, character and state of preservation are recorded.

This design and all subsequent mitigation will conform to the guidelines specified in Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2020).



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Figure 01: Location of The Farmhouse, Old Bagillt Rd, Bagillt, CH6 6ER.
Scale 1:20,000 at A4.

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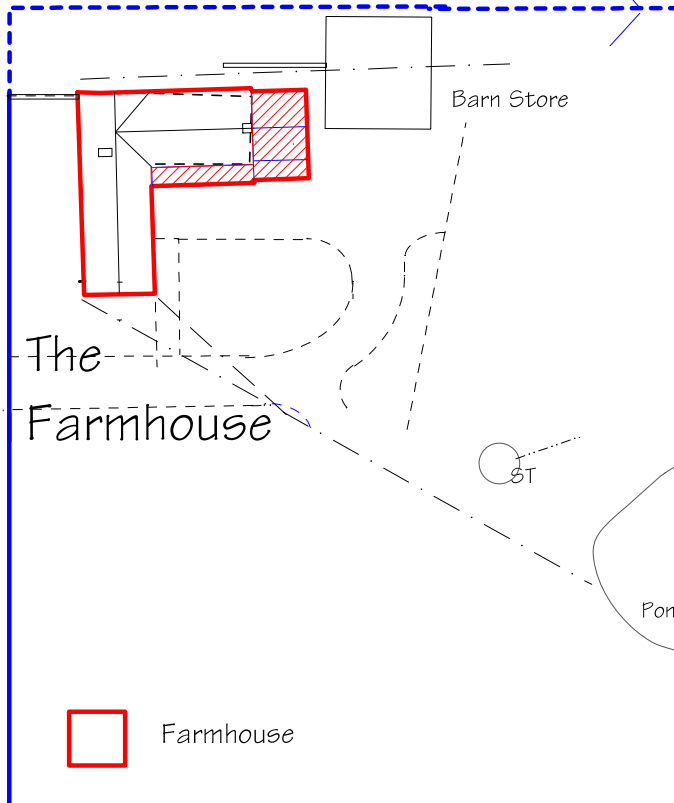
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Figure 02: Location of The Farmhouse, Old Bagillt Rd, Bagillt, CH6 6ER.
Scale 1:5,000 at A4.

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Panton Hall



The Farmhouse

Barn Store

Pond

ST



Farmhouse

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Figure 03: Location of The Farmhouse, Old Bagillt Rd, Bagillt, CH6 6ER.
Scale 1:500 at A4.

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2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and County Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that: -

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 HISTORIC BACKGROUND

The following information is sourced from the Heritage Impact Assessment produced by Twigg. W.J. 2019.

Panton Hall Complex

Panton Hall is a Grade 2 Listed manor house in Palladian style predominantly of mid to late 18th century date, with a 1960s single storey rear extension. It is known to have originated as an addition to the front of a much earlier building. Some limited pictorial and photographic evidence survive to partially inform us of the overall form and appearance of the earlier portion, the last part of which was demolished in the 1960s and replaced with the rear extension which contains a bathroom, kitchen and third room.

The Hall stands among a group of buildings all originally related to it and secondary to its status, of which the significant items are two barns and the remains of a farmhouse (*see below*). The barns have recently both been converted to dwellings, and the farmhouse is in process of complete rehabilitation as a dwelling. The group is predominantly of 18th and 19th century construction. The Croft bam contains evidence of earlier work, and the occupation of the site is known to have late mediaeval to 16th/17th century origins

The building's name of Panton Hall only dates to about 1724 when Paul Patton, of Coleshill, Flint, married Margaret Griffiths, heiress to Edward Griffiths of the original occupants, the Griffiths family. This family were related to the Griffiths family of Caetwys Hall, and their occupation of the building would probably go back at least to the 16th century.

The Panton family altered the original Griffiths building by the addition in the late 18th century of the Palladian front section, which now constitutes the main portion of the house. This is seen in the drawing of Panton Hall by Moses Griffiths included in Thomas Pennant's "History of Whiteford and Holywell" written between 1793 and 1795 and published in 1796. Since Paul Panton senior died the year after the publication of the book, it is evident that he was responsible for the front extension, carried out no later than 1795, and probably not before 1756. When he married Jane Jones, rebuilding in the then highly fashionable Palladian style had already been started at Plas Gwyn by her late father around 1750, but was not yet fully completed. It is most likely that Paul Panton snr completed the work at Plas Gwyn, and followed the style in extending Panton Hall, though on a much smaller scale. This would be appropriate since Panton Hall would be lower in the hierarchy of the estate's buildings than Plas Gwyn. The building would be required to be fit for its owner's status, but would not need to house as large a retinue if it was only used relatively occasionally.

Following Paul Panton snrs death, his son is thought to have made some alterations at Plas Gwyn, where he predominantly stayed. Paul Panton snr may have had intentions to eventually remove the earlier part of Panton Hall and enlarge the house by rebuilding in the same style as the front part, but if so he died before he could complete the scheme, and his son evidently did not feel a need to make any further alterations. Whether we are looking at a frustrated and uncompleted scheme must therefore remain conjectural.

The Farmhouse

The estate plan shows the Farmhouse was in place before 1773 along with the older iteration of the Hall, the Croft and Threshing Barns. The design of the Farmhouse's main part was of a style between the late 17th century to the early 18th century (provisional 1660-1720), (Brunskill 1985, Twigg 2019). The building is shown as an "L" shape in plan with a lesser wing attached to the NE corner.

Excavation of the foundations of the stables of the lesser wing showed a basic foundation of stone, surmounted by three stages of wall in brickwork, with a series of later floor levels - the earliest being of lime mortar, a frequent low cost early flooring method. It is quite possible that this wing was initially timber framed, pre-dates the main wing, was used for a variety of ancillary uses, and was much altered to accommodate them. Its last use was as a stable, but remains of the opening to a probable bread oven suggests a bakehouse at one time, and the evidence of partial remains of a cast iron range suggest use as a larger kitchen. The coarse and fragmented nature of the internal wall dividing the lesser wing and the Farmhouse suggests replacement of a timber-framed structure with brickwork in roughly worked stages (Harvey 1970, Twigg 2019).

Secondary dwellings of the quality of the Farmhouse's main wing adjacent to a Hall would usually be for either a dower house, or for an elder son married before his father's death. Over the generations, the building might serve both roles. In any case the occupant would hold a position of significance within the family, justifying quality work, not surpassing the Hall but close to it.

4.0 METHOD STATEMENT

4.1 Level 2 Building Record

The requirements are for an archaeological building record to be taken of the former Welsh Calvinistic Methodist Chapel, Bethesda Chapel, Back Chapel Street, Llanrhaeadr Ym Mochnant, Powys prior to conversion to residential dwelling and associated works, however should observations or desk-based research suggest the potential for significant features to be encountered during the demolition works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The CPAT Development Control Archaeologist has requested that the building record be roughly commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

4.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.
- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

4.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the rooms to be altered.
- Any internal or external detail.
- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

4.1.3 Drawings

The drawn record will include:

- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.
- Measured elevation drawings of all external elevations.

4.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

5.0 DIGITAL DATA MANAGEMENT PLAN

5.1 Type of study

A level 2 historic building record of the former outbuilding at the Farmhouse, Panton Hall, Old Bagillt Road, Bagillt, Flintshire CH6 6ER (centred on **NGR SJ 19975 75406**) in advance of reinstatement of the dwelling.

Photographs, digital text, annotated plans.

5.2 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*). Written descriptions taken in digital *.txt* format and sent via email to ensure a digital backup copy at time of record.

Annotated plans scanned as *.PDF* files. As part of the recording work the following data was created:

- 25 digital photographs (TIF file)
- 1 photographic metadata file (*.accdb* file)
- 1 PDF report (PDF file)
- 1 Photographic Register (scanned as PDF file)
- 1 Day sheet Record (scanned as PDF file)

5.3 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.

3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

5.4 Data quality and standards

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

5.5 Managing, storing and curating data.

All digital data will be organised into Aeon Archaeology proforma project file systems and backed up to the cloud using *Digital River's Crashplan* with additional copies made to external physical hard drive.

5.6 Metadata standards and data documentation

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

5.7 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of digital (.PDF) reports and a project completion form to the Royal Commission on the Ancient and Historic Monuments in Wales RCAHMW database; submission of the scanned (.PDF) archive, photographic plates (.TIF), and metadata (.xlsx) (.accdb) to the Archaeology Data Service (ADS); and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to the cloud.

5.8 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

5.9 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the ADS and RCAHMW websites. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

5.10 Governance of access

The decision to supply research data to potential new users will be via the associated website request (ADS, RCAHMW, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

5.11 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

5.12 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

5.13 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

5.14 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCifA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

5.15 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2019
- Aeon Archaeology Quality Assurance Policy 2019
- Aeon Archaeology Conflict of Interest Policy 2019
- Aeon Archaeology Outreach Policy 2019
- Aeon Archaeology Digital Management Plan 2020

6.0 LEVEL 2 HISTORIC BUILDING SURVEY

The former Outbuilding to the rear of the Farmhouse at the Panton Hall Complex was the subject of a level 2 historic building record prior to demolition and reinstatement of a dwelling. The site was attended by Josh Dean BA on the 2nd May 2023. The *Farmhouse* is located to the north of the Old Bagillt Road, Bagillt, Flintshire (centred on **NGR SJ 19975 75406**), approximately 1.40km to the east/southeast of Holywell town centre and 2.30m to the west/northwest of Bagillt town centre.

The Stable/Outbuilding, The Farmhouse, Panton Hall Complex

Descriptions (Plates 1 – 10, Figure 04)

This is a rectangular building orientated northwest to southeast, and which measures 6.50m by 4.66m approximately. The structure abuts the principal wing of the Farmhouse which is aligned northeast to southwest.

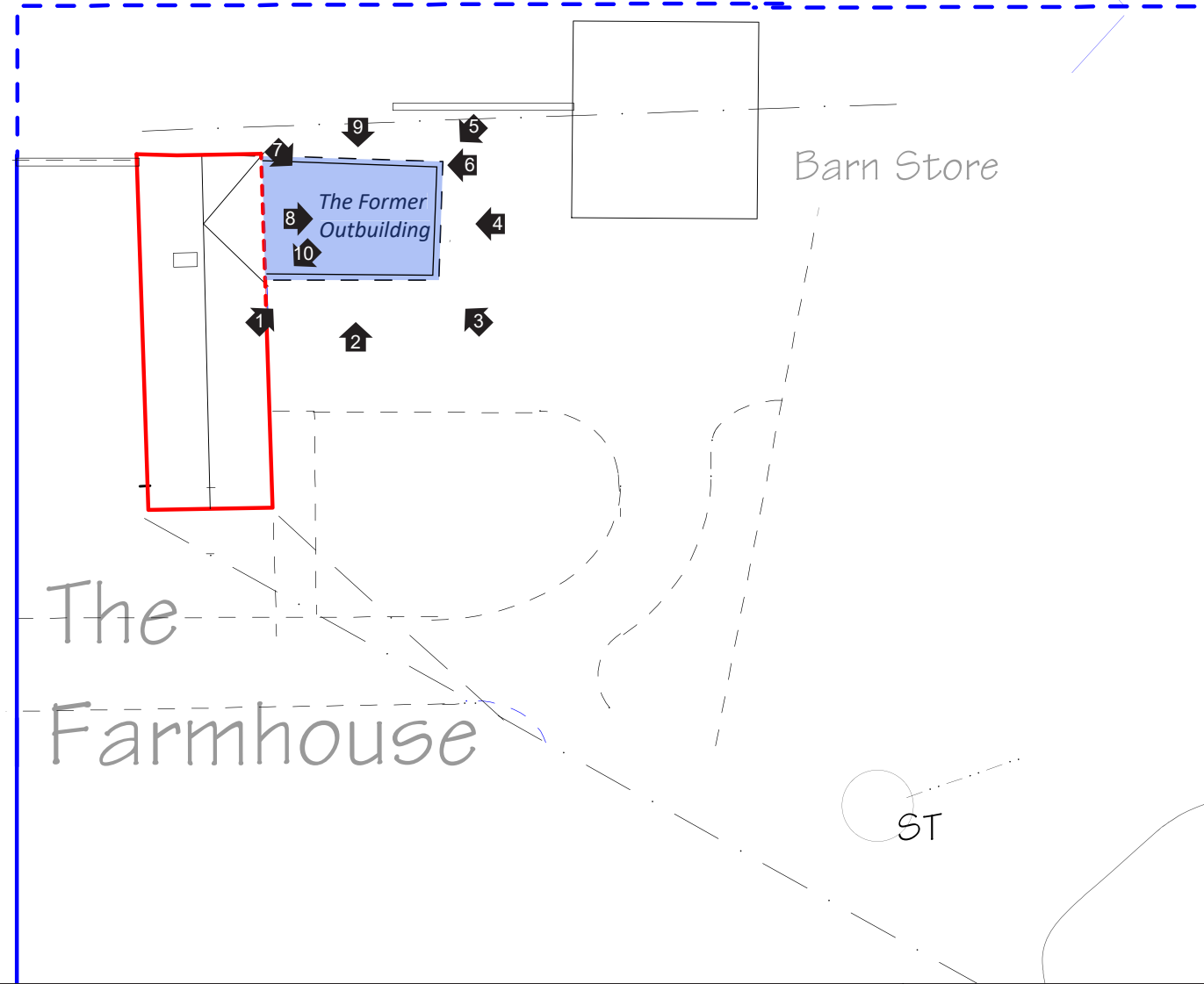
Now only a low remnant of the northeast wall survives, and this is comprised of handmade, red-brick bonded by lime mortar. This survives to 2 courses in height (where visible). Cobbles and dressed stone stored near this elevation are from the upper bank, immediately in front of what was the stable entrance at a level approximately 10 courses above the lowest visible point in the S/E gable of the stable wall.

The southeast elevation survives to shoulder height, or 17 courses of hand-moulded red-brick in a common bond, bonded with lime mortar. There are no signs of blocked up doorways or windows within this elevation. To the southeast of this elevation is a former yard area, which has been laid with unbonded grey and red bricks, into which there is a channel in red-brick for a surface water drain.

The southwest elevation survives to shoulder height, or 18 courses, and is comprised of hand-moulded, red-brick in a common bond, and which is bonded with lime mortar. There are no signs of blocked up doorways or windows within this elevation. At the north-western end, this wall abuts with the south eastern elevation of the farmhouse. In front of the elevation, at the left-hand side, there are a set of descending steps into the cellar of the farmhouse

Within the footprint of the now partially demolished structure, there is a poured concrete floor which overlays a composite floor, consisting of stone sets and red-brick, although this is sporadic. A test pit in the eastern corner reveals several infill deposits.

This floor currently acts as a storage area for materials reclaimed from the farmhouse renovation. At the northern corner of the building, a test pit has revealed that the wall may have been constructed on a stone rubble cill or foundation, founded by lime mortar. The interior face of the south-western wall has been rendered with cement.



Barn Store

The
Farmhouse

The Former
Outbuilding

ST

Key


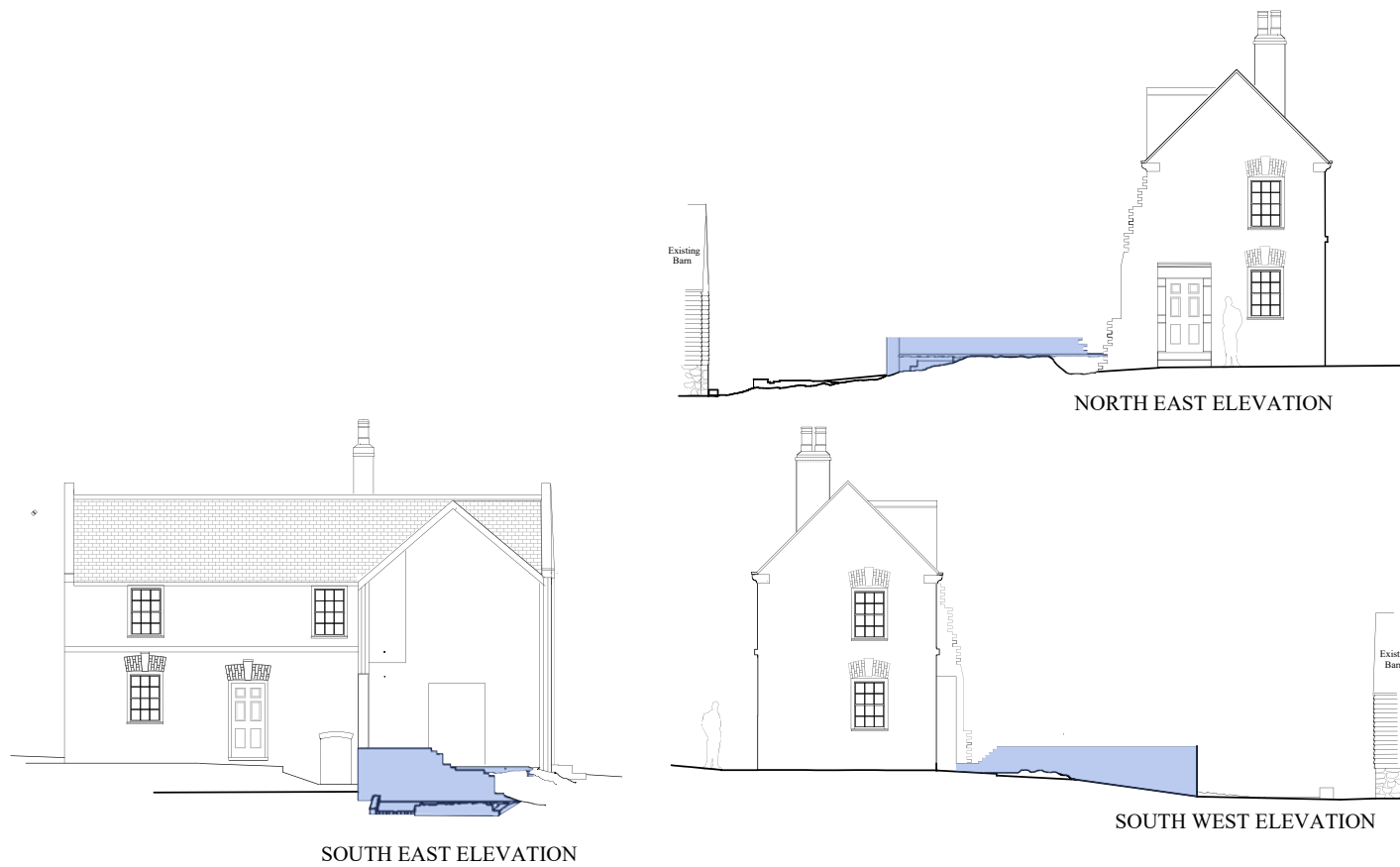
 Direction of Photograph

Figure 04: Site Plan showing location of photographic plates The Farmhouse, Old Bagillt Rd, Bagillt, Flintshire CH6 6ER. Scale 1:250 @ A4.



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0 1 2 3 4 5
Metres

PANTON HALL FARMHOUSE
Panton Hall, Bagillt

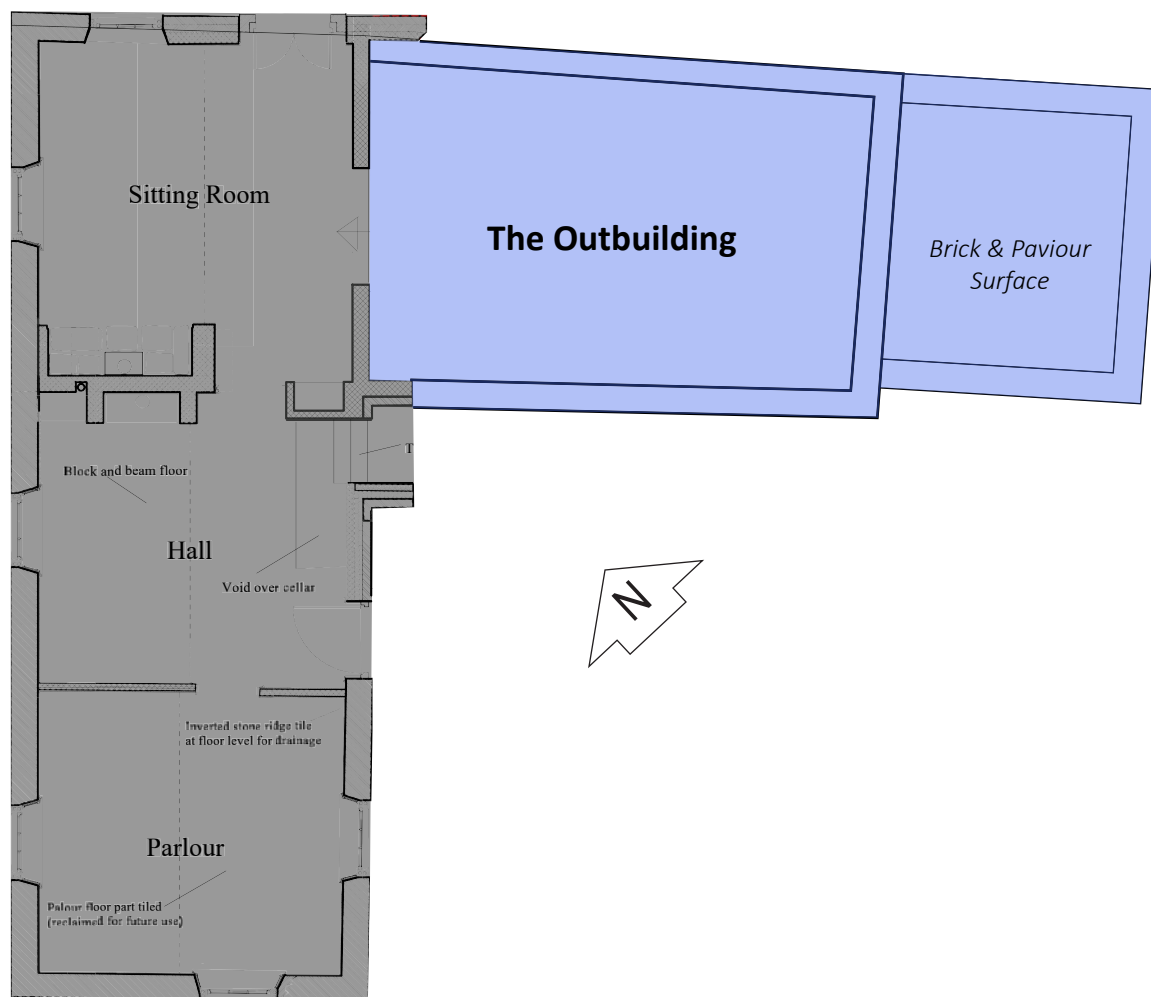
Elevation plans reproduced with kind permission of Client & W. J. Twigg



Figure 05: Elevation plans showing the outbuilding and the Farmhouse, Old Bagillt Rd, Bagillt, Flintshire CH6 6ER. Scale 1:200 at A4.

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The Farmhouse



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Figure 06: Ground plan showing the outbuilding and the Farmhouse, Old Bagillt Rd, Bagillt, Flintshire CH6 6ER. Scale 1:100 at A4.

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Plate 01: Oblique shot of the southwest elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the west/southwest - 1.00m scale



Plate 02: Southwest elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the southwest - 1.00m scale



Plate 03: Oblique shot of the southwest and southeast elevations of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the south - 1.00m scale



Plate 04: Southeast elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the southeast - 1.00m scale



Plate 05: Oblique shot of the southeast and (former) northeast elevations of the outbuilding at the Farmhouse, Pantton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the east - 1.00m scale



Plate 06: Line of the northeast elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the southeast - 1.00m scale



Plate 08: Interior of southeast elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the northwest - 1.00m scale



Plate 09: Interior of southwest elevation of the outbuilding at the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the northeast - 1.00m scale



Plate 10: Interior of southwest elevation of the outbuilding as it abuts with the southeastern elevation of the Farmhouse, Panton Hall, Old Bagillt Rd, Bagillt, Flintshire - from the north - 1.00m scale

7.0 SOURCES

Maps.

Ordnance Survey Open Data maps SH NW17, NE17, SE17 and SW17.

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