



**The Cottage, Sant
Ffraed House**

**Heritage Impact
Statement and Historic
Building Record
Planning Ref.
DM/2023/00951**

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On behalf of:
Howells (Chepstow)

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Executive Summary

- S1 This Heritage Impact Statement and Historic Building Record has been prepared by The Environmental Dimension Partnership Ltd (EDP), on behalf of Howells (Chepstow), to support the preparation, submission and determination of an application for Planning Permission and Listed Building Consent (LBC) at Sant Ffraed House in Monmouthshire.
- S2 It responds to a request from the Heritage Officer at Monmouthshire County Council (MCC) for a Heritage Impact Statement to inform and support the preparation and submission of a new application at 'The Cottage', c.10m north-east of Sant Ffraed House, which the Heritage Officer at MCC assessed as constituting a 'curtilage listed building', but which is not listed in its own right.
- S3 The assessment concludes that the structure is of low significance because, whilst the earliest elements of the building pre-date the current house and most likely related to an earlier iteration of the post-medieval house that stood there, there has been such alteration to the building that the overwhelming majority of the fabric dates from the 19th and late 20th centuries.
- S4 Evidence for the form and use of the earlier building is slight, residing in a single timber beam at the northern gable end, which likely pre-dated the 19th century, and shows its former connections to the farm range to the north.
- S5 Stone walling survives in the gable end and spine wall, the latter of which has timber frame above, infilled in the later 19th century and the building raised. Some sections of flagstone floor and cobbling relate to its former use as a stables, and are considered highly likely to date from the 19th century.
- S6 These features, although of some interest locally, do not raise the significance of the building above 'low', but will be retained as part of the scheme in any event.
- S7 The assessment demonstrates that the implementation of the development proposals would give rise to a 'minimal' loss of the building's significance through the creation of new door openings. An extension to the rear has been assessed as causing no harm to the building's significance, or the greater significance of the adjacent listed building.
- S8 Balanced against that minimal loss of significance is the provision of a long-term use for this building, ensuring its conservation in a sound and stable condition. It also brings the building back into a use which has a direct association in support of the main listed building, by providing additional accommodation to augment and underpin the operation and economic viability of the wedding venue business operated from the premises and adjacent areas. It is considered that this should be afforded significant weight in the decision-making process and hence the proposal ought to be treated favourably by the Council. It is concluded that there is nothing about the proposal that is not consistent with the legislative and planning policy provisions directing the conservation and management of listed buildings in Wales, and in Monmouthshire in particular.

Crynodeb Annhechnegol

- S9 Mae'r Datganiad o Effaith ar Dreftadaeth a'r Cofnod Adeilad Hanesyddol hwn wedi'i baratoi gan The Environmental Dimension Partnership Ltd (EDP) ar ran Howells (Cas-gwent) er mwyn helpu i baratoi, cyflwyno a phenderfynu ar gais am Ganiatâd Cynllunio a Chydsyniad Adeilad Rhestredig yn Sant Ffraed House yn Sir Fynwy.
- S10 Mae'n ymateb i gais gan y Swyddog Treftadaeth yng Nghyngor Sir Fynwy am Ddatganiad o'r Effaith ar Dreftadaeth er mwyn rhoi gwybodaeth a helpu i baratoi a chyflwyno cais newydd yn 'The Cottage', sydd tua 10m i'r gogledd-ddwyrain o Sant Ffraed House. Yn asesiad Swyddog Treftadaeth Cyngor Sir Fynwy, mae hwn yn rhan o 'gwrtil adeilad rhestredig', ond nid yw wedi'i restru ei hun.
- S11 Mae'r asesiad yn casglu bod arwyddocâd isel i'r adeiledd oherwydd er bod elfennau cynharaf yr adeilad yn hŷn na'r tŷ presennol ac yn fwyaf tebygol o fod yn gysylltiedig â fersiwn gynharach o'r tŷ ôl-ganoloesol a safai yno, mae'r adeilad wedi'i addasu i'r fath raddau nes bod mwyafrif llethol yr adeiladwaith yn dyddio o'r bedwaredd ganrif ar bymtheg a diwedd yr ugeinfed ganrif.
- S12 Mae'r dystiolaeth o ffurf a defnydd yr adeilad cynharach yn brin, sef un trawst pren yn y talcen gogleddol, sy'n debygol o fod yn hŷn na'r bedwaredd ganrif ar bymtheg, a hwnnw'n dangos ei gysylltiadau â'r adeiladau fferm i'r gogledd.
- S13 Mae waliau cerrig yn goroesi yn y talcen a'r wal ganol, ac mae gan yr olaf o'r rhain ffrâm bren uwch ei phen, sydd wedi'i llenwi yn niwedd y bedwaredd ganrif ar bymtheg wrth godi uchder yr adeilad. Mae rhai rhannau o'r llawr cerrig llorio a cherrig crynion yn gysylltiedig â'r defnydd blaenorol fel stablau, ac ystyrir ei bod yn debygol iawn eu bod yn dyddio o'r bedwaredd ganrif ar bymtheg.
- S14 Er bod rhywfaint o ddiddordeb lleol i'r nodweddion hyn, nid ydynt yn gwneud yr adeilad yn fwy arwyddocaol nag 'isel', ond byddant yn cael eu cadw fel rhan o unrhyw gynllun beth bynnag.
- S15 Mae'r asesiad yn dangos y byddai bwrw ymlaen â'r cynigion datblygu yn arwain at gollir'r 'mymryn lleiaf' o arwyddocâd yr adeilad drwy greu agoriadau newydd i'r drysau. Aseswyd na fyddai estyniad yn y cefn yn achosi unrhyw niwed i arwyddocâd yr adeilad, nac i arwyddocâd ehangach yr adeilad rhestredig cyfagos.
- S8 I gydbwyso colli'r mymryn lleiaf o arwyddocâd, bydd defnydd hirdymor yn cael ei roi i'r adeilad hwn, gan sicrhau ei fod yn cael ei warchod mewn cyflwr da a sefydlog. Bydd y cynnig hefyd yn rhoi defnydd unwaith eto i'r adeilad sy'n uniongyrchol gysylltiedig â'r defnydd o'r prif adeilad rhestredig, drwy roi llety ychwanegol i ategu a rhoi sail i weithrediad a hyfywedd economaidd y busnes cynnal priodasau sy'n cael ei redeg o'r eiddo ac o fannau cyfagos. Ystyrir y dylid rhoi pwysau sylweddol ar hyn yn y broses benderfynu, ac o'r herwydd, dylai'r Cyngor drin y cynnig yn ffafriol. Y casgliad yw nad oes dim yn y cynnig sy'n anghyson â darpariaethau mewn deddfwriaeth a pholisïau cynllunio sy'n ymwneud â gwarchod a rheoli adeiladau rhestredig yng Nghymru, ac yn Sir Fynwy yn benodol.

Section 1 Introduction

- 1.1 This Heritage Impact Statement (HIS) and Historic Building Record has been prepared by The Environmental Dimension Partnership Ltd (EDP), on behalf of Howells (Chepstow), to support the preparation, submission and determination of an application for Planning Permission and Listed Building Consent (LBC) at Sant Ffraed House in Monmouthshire.
- 1.2 It responds to and addresses a request from the Heritage Officer at Monmouthshire County Council (MCC) for a Heritage Impact Statement (HIS) to inform and support the preparation and submission of a new application at the site.
- 1.3 It relates specifically to 'The Cottage' c.10m to the north-east of Sant Ffraed House and separated from it by a small courtyard and recently constructed wall. Whilst the cottage is not listed in its own right, the Heritage Officer at MCC assessed it as meeting the criteria to constitute a 'curtilage listed building' under the terms which are defined in Section 1(5) of the *Planning (Listed Buildings and Conservation Areas) Act 1990*.
- 1.4 This HIS has been drafted in accordance with current Cadw guidance (Cadw, 2017a), which outlines the appropriate approach to be adopted where development proposals could have an adverse impact on historic assets.
- 1.5 The focus of this HIS, therefore, comprises a currently residential building associated with and adjacent to the Grade II listed Llansantffraed Court [ID 81767] that was designated by Cadw on 09 December 2005 and where the listing citation sets out the following information on the history and heritage significance of the building:

“Built 1912 (dated) and designed by Fairfax B Wade and C Frankis for J Herbert. The design was probably based on Edwin Lutyens' Monkton House at West Dean in Sussex. The house appears to have been very little altered externally.

Built of red brick with vitrified headers, raised quoins and some decorative tile work, tile roof with brick stacks. Compact country house built in the Wrenaissance [sic] style of Lutyens, Reginald Blomfield and Herbert Baker. Double depth plan with spine corridor, seven bays by four and with the roof hipped in both directions. Two storeys and attics. North (entrance) front. This has a recessed centre, so 2 + 3 + 1 bays. Tuscan porch with paired columns, probably an alteration flanked by arched windows with raised brick voussoirs. All other windows are large small-paned mullion-and-transom panes. Coved cornice to the recessed centre. Steeply pitched roof with five gabled dormers with 2-light casements. Large stack visible behind the centre of the ridge. Lower atone wing attached on the left, also an addition. West front. Four window front dominated by a modern double perron stair in a Lutyenesque manner. This rises to the central first floor windows and is flanked by two very large and tall externally expressed stacks. The stairs have turned stone balusters and a moulded stone handrail. The left flight has an arched door beneath the landing and the right one goes into the end of the south front arcade. The first floor has the windows separated by the chimneys thus, W : C : W : W : C : W , and the dormers above likewise. Roof hipped overall with the chimneys rising above the ridge. South (garden) front. This has seven bays with the centre three set forward. Three tall French casements with small panes

and arched heads; all others are mullion-and-transom ones as before. Coved cornice over the central three bays, five dormers as before.

The interior has an arched stone paved hall with steps rising to a vaulted spine corridor. The central drawing room has a late C18 marble chimneypiece reused from the previous house on the site. Other rooms not seen at resurvey.

Included for its special interest as a country house (now Hotel) designed by Fairfax Wade for the local Herbert family in a Home Counties style unusual to Wales.”

- 1.6 A copy of the listing citation, prepared by Cadw, should be referred to for full details on the history and appearance of the building.

LOCATION AND BOUNDARIES

- 1.7 Sant Ffraed House is located to the north of the A40 dual carriageway, midway between the towns of Raglan to the south-east and Abergavenny to the north-west, and centred on approximately National Grid Reference (NGR) SO 356101.
- 1.8 The listing citation identifies that the listed building is located “*on the eastern boundary of the Community about 400m north of the A40 and approached off the Raglan road up the hotel drive to the north of Aberffrwd Bridge*”.
- 1.9 The Cottage comprises a broadly rectangular two-storey building with single storey southern projection, situated to the north-east of Sant Ffraed House. It occupies the space between the House and the former farm buildings to the north, which it is attached to, as illustrated on **Plan EDP 1**. Photographs are included in **Appendix EDP 1**.

PROPOSED DEVELOPMENT

- 1.10 The proposals for The Cottage focus on renovating the interior and exterior of the building and provision of an extension to the east, to provide accommodation for the use of the wider site as a wedding venue. This gives the building a continuing residential use, which is consistent with its current use and thus secures its long-term conservation.
- 1.11 The property is in need of renovation to meet modern standards and residential expectations, and extension to provide sufficient and suitable accommodation for guests as a private suite.
- 1.12 Although within the long-term freehold of the property, it is understood to have been on a long leasehold since at least 1980 and formerly used as a residential building not associated with the use of the main house since at least that date. The hotel has recently bought back the leasehold, thus bringing the building once again into direct association with the main house.
- 1.13 It is intended to use The Cottage as ancillary accommodation in association with the existing wedding business at the site and ultimately help to secure the upkeep of the main listed building in the process.

- 1.14 Historically, the building was part of the service/agricultural buildings associated with the house and pre-dates the construction of the main house itself. It is thought to have been converted to a residential dwelling in the 1980s.
- 1.15 The proposals focus on the removal of the modern interior and provision of new habitable accommodation. A new, single storey extension is also proposed to the rear.
- 1.16 The modern partition walls and stairs have already been removed. Otherwise, the proposals seek to replace all the external windows.
- 1.17 Drawings setting out the proposals are included here in **Appendix EDP 2**, which should be checked in consultation with this report.

Section 2 Legislation and Planning Guidance

- 2.1 In March 2016, the *Historic Environment (Wales) Act* came into force. Whilst it provides a number of new provisions to existing legislation, the changes do not specifically affect the way in which historic assets (such as listed buildings) are assessed throughout Wales.
- 2.2 The *Planning (Listed Buildings and Conservation Areas) Act 1990* is the primary legislative instrument addressing the treatment of listed buildings through the planning process in both England and Wales.
- 2.3 Section 66(1) of the *Planning (Listed Buildings and Conservation Areas) Act 1990* sets out the statutory duty of the decision-maker, where proposed development would affect a listed building or its setting:
- “...in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”*
- 2.4 The ‘special regard’ duty of the 1990 Act has been tested in the Court of Appeal and confirmed to require that ‘considerable importance and weight’ should be afforded by the decision-maker to the desirability of preserving a listed building along with its setting. The relevant judgement is referenced as *Barnwell Manor Wind Energy Ltd v East Northants DC, English Heritage and National Trust* (2014) EWCA Civ 137.
- 2.5 However, it is up to the decision-maker (such as a local authority) to assess whether the proposal before them would result in ‘acceptable change’ and there is no statutory duty to preserve a listed building or its setting.

NATIONAL PLANNING POLICY

- 2.6 The Welsh Government published *Future Wales: The National Plan 2040* on 24 February 2021 and highlights in the foreword from the Minister for Housing and Local Government, that it forms a “*framework for planning the change and development our country will need over the next two decades*” (see WG, 2021).
- 2.7 In terms of the Welsh Government’s objectives, Number 6 of ‘Future Wales Outcomes’ on P55 states that:
- “Development plans will have a forward thinking, positive attitude towards enabling economic development, investment and innovation. Increased prosperity and productivity will be pursued across all parts of Wales, building on current activity and promoting a culture of innovation, social partnership, entrepreneurialism and skills-development in sustainable industries and sectors. The culture, heritage and environment of Wales will play a positive, modern role in the economy by attracting the interest and expenditure of tourists and providing a distinctive and trusted brand for Welsh businesses.”*

- 2.8 National planning guidance, concerning the treatment of the historic environment across Wales, is detailed in Section 6.1 of Chapter 6 ‘Distinctive and Natural Places of Planning Policy Wales (PPW) Edition Eleven’, which was published on 24 February 2021 (PPW, 2021).
- 2.9 At Paragraph 6.1.2, it identifies the historic environment as comprising individual historic features, such as archaeological sites, historic buildings and historic parks, gardens, townscapes and landscapes, collectively known as ‘historic assets’.
- 2.10 At Paragraph 6.1.6, the Welsh Government’s specific objectives for the historic environment are outlined. Of these, the following is of relevance to the current assessment. This seeks to “*safeguard the character of historic buildings and manage change so that their special architectural and historic interest is preserved*”.
- 2.11 At Paragraph 6.1.7, it is observed that:
- “It is important that the planning system looks to protect, conserve and enhance the significance of historic assets. This will include consideration of the setting of an historic asset which might extend beyond its curtilage. Any change that impacts on an historic asset or its setting should be managed in a sensitive and sustainable way.”*
- 2.12 As such, with regard to decision-making, it is stated that: “*Any decisions made through the planning system must fully consider the impact on the historic environment and on the significance and heritage values of individual historic assets and their contribution to the character of place*”.
- 2.13 Regarding listed buildings, PPW 2018 states, at Paragraph 6.1.10, that:
- “...there should be a general presumption in favour of the preservation of a listed building and its setting, which might extend beyond its curtilage’ and adds that ‘For any development proposal affecting a listed building or its setting, the primary material consideration is the statutory requirement to have special regard to the desirability of preserving the building, or its setting, or any features of special architectural or historic interest which it possesses.”*
- 2.14 It then adds that: “*The aim should be to find the best way to protect and enhance the special qualities of listed buildings, retaining them in sustainable use*”.
- 2.15 Additional guidance covering broader historic environment matters across Wales is set out in TAN 24: *The Historic Environment* (WG, 2017).
- 2.16 Of relevance to the current application is Section 5; concerned with listed buildings, and specifically Paragraphs 5.9, 5.12, 5.13 and 5.14, which discuss listed building consent. Paragraph 5.9 clearly states the following:
- “The Planning (Listed Buildings and Conservation Areas) Act 1990 requires any works of demolition, alteration and/or extension which would affect the character of a listed building to be authorised through the process of listed building consent. It is a criminal offence to carry out such works without consent, which should be sought from the local planning authority. When considering any applications for listed building consent, the local planning authority or the Welsh Ministers must have special regard to the desirability of preserving*

the building or its setting or any features of special architectural or historic interest which it possesses. Consent is not normally required for repairs, unless they involve changes that would affect the character of the listed building. If in any doubt owners are advised to contact their local planning authority to seek clarification on whether or not consent is needed.”

2.17 Paragraph 5.12 states that:

“Applicants for listed building consent are required to provide a heritage impact statement. This presents the results of a heritage impact assessment, which is a process designed to ensure that the significance of the building is taken into account in the development and design of proposals for change. Heritage impact assessment should be proportionate both to the significance of the listed building, and to the degree of change proposed, and the statement should provide enough information to allow the local planning authority to judge significance and impact when considering applications for listed building consent.”

2.18 Paragraph 5.13 states that:

“When determining a listed building consent application, the local planning authority should consider the following issues:

- *The importance and grade of the building and its intrinsic architectural or historic interest;*
- *The physical features of the building which justify its listing and contribute to its significance, (for example its form and layout, materials, construction and detail) including any features of importance such as the interior, which may have come to light after the building’s inclusion on the list;*
- *The contribution of curtilage and setting to the significance of the building, as well as its contribution to its local scene;*
- *The impact of the proposed works on the significance of the building; and*
- *The extent to which the proposed works would bring substantial community benefits for example, by contributing to the area’s economy or the enhancement of its local environment.*

The listing grade may be a material consideration, but is not in itself a reliable guide to the sensitivity of a building to alteration or extension. For example, many Grade II buildings are humble, once common building types, listed precisely because they are relatively unaltered examples of their kind and their special interest can be damaged by inappropriate alteration or extension.”

2.19 Paragraph 5.14 highlights that:

“Many listed buildings can sustain a degree of sensitive alteration and extension to accommodate continuing or new uses. Past changes that reflect the history of use and ownership may themselves be aspects of the special interest of the listed building. When applicants and the local planning authority assess the heritage values and significance of

a listed building, which is the subject of a consent application, they must consider the sensitivity of that building to the proposed changes. Sustaining the special interest and significance of a listed building through the process of alteration, extension or re-use is exacting, and should always be based on specialist knowledge and skill in order to realise the benefits that well-designed interventions can bring.”

- 2.20 As such, TAN 24 clearly recognises that the requirements with regard to listed buildings can be exacting, although it also clearly advises that the level of assessment and approach to decision-making should be proportionate to the proposed changes.

LOCAL PLANNING POLICY

- 2.21 MCC’s Local Development Plan (LDP) 2011-2021 was adopted on 27 February 2014, replacing the Monmouthshire Unitary Development Plan (UDP) and forming the adopted development plan for the county (i.e. excluding the Brecon Beacons National Park). The replacement Local Development Plan is in progress but has yet to be adopted.
- 2.22 The adopted LDP has no specific policies for listed buildings because they are all dealt with in *Planning Policy Wales* (PPW), which should be referred to for appropriate guidance.

Section 3 Methodology

- 3.1 The methodology of this statement was discussed at a site meeting with MCC's Heritage Officer held on 22 June 2023 and confirmed through email correspondence. This consultation established that a combined Heritage Impact Statement and Historic Building Record should be undertaken, comprising:
- HIS to cover the external works with a photographic record to cover the interior;
 - HIS to include:
 - Description of work;
 - Brief statement of significance;
 - Reasons/justification for the design response of the works;
 - consideration of setting of the main house; and
 - impact of the scheme.
 - Photographic record:
 - General views of exterior;
 - Overall appearance of internal rooms; and
 - Internal detail of interest.
- 3.2 This assessment employs the current methodology set out in Cadw's publication *Heritage Impact Assessment in Wales* and similarly draws upon *Managing Change to Historic Buildings in Wales* (Cadw, 2017a and 2017b). It also follows Historic England's *Understanding Historic Buildings A Guide to Good Recording Practice* (2016) in the absence of specific Cadw guidance.
- 3.3 This HIS has also been produced in accordance with the professional guidance in the *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (CIfA, 2019).
- 3.4 These best practice professional guidelines provide a national standard for the completion of assessments which address the built aspects of the historic environment.
- 3.5 In general terms, the investigative methodology for the project involved a review of any historical background information and the completion of two site visits and inspections of the building, undertaken in the second half of June 2023.

- 3.6 The digital report and any relevant information will be provided to Glamorgan-Gwent Archaeological Trust (GGAT) as per the requirements of the *Guidance for Submission of Data to the Welsh Historic Environment Records (HERs), 2022*.

IDENTIFICATION AND ASSESSMENT OF 'SIGNIFICANCE'

- 3.7 The identification and assessment of 'significance' for the various historic assets draws on the four 'heritage values' defined by Cadw in *Conservation Principles* (Cadw, 2011). These values consist of:
- The asset's evidential value, which is defined as those elements of the historic asset that can provide evidence about past human activity, including its physical remains or historic fabric;
 - The asset's historical value, which is defined as those elements of an asset which might illustrate a particular aspect of past life or might be associated with a notable family, person, event or movement;
 - The asset's aesthetic value, which is defined as deriving from the way in which people draw sensory and intellectual stimulation from the historic asset; and
 - The asset's communal value, which is defined as deriving from the meanings that a historic asset has for the people who relate to it, or for whom it figures in their collective experience or memory.
- 3.8 Accordingly, this HIS has been prepared using best practice professional guidance and is therefore considered to provide a robust basis for an evaluation of the development, which is proposed at the site, in respect of heritage matters.

Section 4

History, Description and Significance

- 4.1 This section explores the historical background of the property and then provides a description and a consideration of its significance.
- 4.2 The origins, history and chronological development of Sant Ffraed House are explored fully within EDP's reports on previous applications for the main house (EDP, 2020).
- 4.3 The current Grade II listed Sant Ffraed House dates from 1912 and was built to the designs of Fairfax B. Wade and C. Frankis but replaced at least two earlier iterations of a building. The 1912 house itself replaced an earlier building on the same footprint, thought to date from the earlier 19th century, although according to Bradney, who saw the earlier house, it had 16th century elements.
- 4.4 An even earlier manor house is thought to have been located to the south of this, within an area which is now occupied by lawns and a lake. Indeed, the early history is documented in Bradney (1906), which states that, in the 14th century, it was the seat and estate of Sir John Morley.
- 4.5 The earliest cartographic depiction is the 1843 Llansantffraed Tithe Map, which shows the buildings at Llansantffraed at the top end of a long, slightly sinuous and wholly unenclosed track running north from the Raglan Road to terminate in a turning circle at the west end of a large rectangular building. This shows the layout of the complex at the time of the second house at Llansantffraed, prior to the 1912 rebuilding.
- 4.6 An extract is reproduced as **Plan EDP 2** and it shows three ranges of buildings to the west and north of the sub-rectangular walled garden [36], described in the Award as comprising Llansantffraed Farm House, offices, yards etc, owned by Mr. John Jones and recorded as being occupied by Nathaniel Hawkins [33].
- 4.7 The map shows the presence of the 'Cottage' at this time as part of a more amorphous and sprawling range of buildings to the rear (north) and assumed to be the estate offices and ancillary outbuilding range, which would presumably have contained the stables and carriage sheds etc.
- 4.8 This shows that a building existing in the area of The Cottage from at least the mid-19th century, at least in plan if not fabric, thus pre-dating both the current early 20th century iteration of Sant Ffraed House and most likely relating to its 19th century antecedent.
- 4.9 In plan form the building is shown as being irregular, with a probable long central axis running north/south with a projection to the east and south. It is clearly attached to, and overlaps slightly, the farmhouse range to the north.
- 4.10 Llansantffraed House (albeit not the current building) is labelled clearly on the 1st edition Ordnance Survey map of 1882 (**Plan EDP 2**), with the main entrance to this rectangular structure appearing to be on the west side. The sprawling group of farm and estate buildings continue to be readily visible on the north side of the courtyard and around the northern

edge of the walled garden, with a dedicated access track skirting the west side of the House and coming into the farmyard from the west. This shows the Cottage at this time, indicating a slightly different footprint, suggesting some changes had occurred to the building in the mid-late 19th century.

- 4.11 The 1901 edition of the 25" Ordnance Survey map (not illustrated) does not show any change and the 'Cottage' continues to be depicted as a broadly rectangular footprint, attached to the range of the main farmhouse to the north.
- 4.12 The Glamorgan Record Office (Cardiff) holds the original designs for 'Llansantffraed House', which comprise plans, elevations and sections. They are dated May 1911. A plan within this shows the yard area, including 'the Cottage' and other outbuildings. This shows the existing arrangement at that time, which corresponds with the layout on the 1901 Ordnance Survey map. The proposed footprint of the new arrangement is inked over the top. There are also several pencil annotations, although these are largely illegible.
- 4.13 These original building designs show the 'Cottage' as at that time comprising two main sections, with a broadly square northern section comprising 'stables' and a southern projection, a 'coach house' (**Appendix EDP 3**).
- 4.14 Interestingly, the plan does not show an eastern projection, in the way the OS maps do, thus suggesting that the OS maps are slightly inaccurate or that this section was removed between 1901 and 1911. It sits at the eastern end of a well-defined 'stable yard', which is entered through a gateway to the west and defined by a wall on its southern side. A 'shed' is also shown attached to the southern wall of the farm range to the north.
- 4.15 The 1920 revision of the 25" Ordnance Survey map (see **Plan EDP 2**) is the first OS map edition to show the construction of the existing version of Llansantffraed Court. This depicts two ranges, aligned east-west and north-south at the eastern end, with the turning circle at the top of the driveway re-positioned to the rear and a more ephemeral and limited area of tree planting focused to the south-west of the house and to the south-east, around the south-eastern corner of the retained walled garden.
- 4.16 The 1920 OS map continues to depict the 'Cottage' with its layout, including the eastern projection, although this does not quite match the modern footprint of the cottage, as shown in **Plan EDP 3**.
- 4.17 The 1995 map is the earliest map depiction following the subdivision of these buildings into residential units (**Plan EDP 2**). The 'Cottage' is clearly annotated as such and there is a clear sub-division visible with Number 2 to the north. The footprint is still broadly similar, although of note is the fact that the eastern extension now aligns with the southern wall of the main farm range, suggesting it has been rebuilt at this stage.
- 4.18 An aerial photograph which is dated 2000 shows the building in its state prior to the listing in 2005. Of interest is the differing ridgeline to the adjacent building and the addition of two large dormers in the eastern pitch, suggesting a wholesale raising/re-roofing from its historical arrangement.

DESCRIPTION AND BUILDING RECORD

- 4.19 At the time of the assessment, modern finishes had been removed from the interior, allowing for a comparatively detailed examination of the exposed fabric of the building. Photographs illustrated in the report are shown in **Appendix EDP 1**.
- 4.20 The building is best described in two parts, the 'northern' part is a broadly square structure of two storeys, whilst the southern part is a single storey structure attached to the southern end of the building. The layout of the building and locations of the photographs are shown on **Plan EDP 4** and it should be consulted in that regard.
- 4.21 The northern section is square in plan form and of three bays. The western elevation of this structural unit contains three openings on the ground floor, formed of a fixed double-glazed window and two PVC double-glazed bay windows which have been inserted into former wide openings (**Image EDP A1.1**). The upper floor has two PVC windows in the right hand two bays, with a blocked door in the left-hand bay converted to a window.
- 4.22 The roof pitch of the eastern elevation actually comes down to the first-floor level in the manner of a catslide (**Image EDP A1.2**), with two modern openings and two modern dormer windows in the roofline. This wall is composed of rendered blockwork.
- 4.23 The interior is divided into two rooms, with a central spine wall running the length of the building and door openings at either end (**Image EDP A1.3**). This wall is of rubblestone construction on the lower portion but the upper portion has the remnants of a timber frame and is of brickwork throughout.
- 4.24 The westernmost room (G1) has the floor exposed, with concrete and concrete plinth at the northern end, flagstones and drain noted along the western side and a small patch of cobbles to the east (**Images EDP A1.4-6**). The remainder is of 20th century stable bricks. The internal walls are exposed, along with the floor joists for the upper floor and these joists are all of square section sawn timber of 19th/20th century date with square joist notches (**Image EDP A1.7**).
- 4.25 The western wall is a mix of brickwork and blockwork. The two former wide openings are formed from brick pillars, subsequently infilled with blockwork (**Image EDP A1.8**). The upper floor is also of brickwork, although of slightly lesser quality than the brick piers and no stonework exists anywhere in this western elevation.
- 4.26 The eastern wall is the internal spine wall, which is of rubblestone construction in the lower part but again, brickwork in the upper part. The lower portion shows some signs of having been re-built. A timber frame sits on top of this brick wall, fragments of which survive comprising the wall plate and three uprights which can be seen in the eastern face (**Image EDP A1.9**) but not the western face, where it is plastered over. The timber is oak and is possibly of the same date as the rubble stone wall, but has subsequently been infilled with brick and the roof raised at a later date.
- 4.27 The southern gable is of rubblestone construction for the most part, albeit with a rendered upper gable. The holes for the first-floor joists are evident, and this shows that they have been inserted into an existing wall, then packed out with brick (**Image EDP A1.10, A1.11**).

- 4.28 In contrast, the northern gable is of some interest. Whilst the lower portion has been blocked, presumably with blockwork or bricks, there is an evidently earlier timber beam with timber framing above. Later brickwork above this obscures the upper part of the frame (**Image EDP A1.12, A1.13**). A recess for a door frame can clearly be seen at the eastern end of the beam, with similar traces at the western end, indicating links to the farm buildings to the north (**Image EDP A1.14**) prior to being split off upon conversion to residential buildings in the later 20th century. The form and character of this timber floor beam suggests it is likely to pre-date the 19th century and represent one of the oldest features within this building.
- 4.29 The internal floor structure above room G1 has been removed, thereby providing views upwards to the underside of the roof structure. This is a simple collar truss construction with the main collars having been cut at some point in the past. Whilst the trusses appear to be of 19th century date, all the rafters on the eastern pitch are 20th century replacements and show that there has been wholesale rebuilding (**Image EDP A1.15**).
- 4.30 The second, eastern room (G2), is of smaller proportions, being situated partially within the catslide extension. The eastern wall of this extension is of blockwork construction, but the northern wall contains a brick-built fireplace of 19th century date with cupboard to right (**Image EDP A1.16, A1.17**). The upright timbers on the upper part of the spine wall have angled beams cut off towards the roof (**Image EDP A1.18**). The timber frame may indicate an original structure here, contemporary with the rubble wall, albeit later infilled with brick, trusses cut and the roof raised in the 19th century.
- 4.31 The southern gable wall is of rubblestone construction for the lower part, but the upper part is partially constructed of brick, showing at least a re-building if not extension of the gable here and former roofline (**Image EDP A1.19, A1.20**), most likely in the 1980s following its conversion to a residential dwelling and coincident with the addition of the 1980s roof and dormers in this section.
- 4.32 The upper floor has been removed, but a single opening in the spine wall provides access between the two upper rooms (**Image EDP A1.21**). The floor joists are entirely 20th century in date, as is the roof structure with the two dormer windows (**Image EDP A1.22**).
- 4.33 The southern 'coach house' section has a hipped slate roof and three openings. The western side of the structure has a wide cart opening with brick jambs and brick segmental arched head (**Image EDP A1.23, A1.24**). This brick segmental arch is evidently a very recent addition, as the stonework above it has clearly been inserted. A second simple opening in this wall gives access to the rear garden area. There is also a modern window adjacent (**Image EDP A1.25, A1.26**).
- 4.34 The interior of this structural unit exhibits a re-sited beam across the former cart entrance. The interior is open to the roof and hence this enables it to be established that it comprises a 19th century pegged structure (**Image EDP A1.27**). The earlier timber framing of the main structural unit is exposed in the southern wall here (**Image EDP A1.28**) and this offers an indication of the former height of the original farm building.

DISCUSSION AND SIGNIFICANCE

- 4.35 The available historic maps indicate that there was a building in this location by at least the mid-19th century and it was most likely associated with the farm buildings in conjunction with the immediate pre-cursor to the current House, dating from 1912.
- 4.36 Notwithstanding this, there is evidence for a relatively early building here through the presence of the timber framing in the northern gable end. This beam is possibly re-sited, although there is no reason to believe this is the case. Otherwise, the first coherent phase comprises the basic rubble stone walling of the southern gable and spine wall and possibly the basic stonework of the smaller 'coach house' section. There is also some timber framing within the upper floor of the spine wall, indicating the Phase 1 structure as a lower two-storey structure than present, most likely representing an agricultural building akin to a stable with hayloft relating to the farm.
- 4.37 Despite the relatively early origins indicated by the beam in the northern gable, with the exception of some of the basic stone fabric identified above, the majority of the building's fabric clearly and demonstrably dates from the later 19th and 20th centuries.
- 4.38 In the mid-late 19th century much of the building seems to have been re-built. This involved the removal of the western wall and addition of two cart shed/stable openings between brick piers. At the same time, the whole building was raised as shown by the brick upper part of the building, albeit some of the earlier timber framing was retained and infilled with brickwork in the spine wall. It is likely that the raising of the building was to create greater headroom on the ground floor, in order to allow access for carts.
- 4.39 The fireplace in the eastern section of the building and the cut trusses in the upper part of the timber frame show that the building was of double pile formation in the 19th century, yet this eastern bay was completely rebuilt in the later 20th century upon its conversion to a residential dwelling, at which point the western openings were filled with blockwork.
- 4.40 In terms of significance, whilst there are fragments of a retained and re-used earlier building, these are isolated and limited, with only the timber beam in the northern gable being evidence of this. Otherwise the basic stone rubble, fragmentary timber in the spine wall, and possibly some of the cobbled floor represents the most coherent first phase.
- 4.41 The majority of the building's fabric in fact dates from the later 19th century, with even that still altered substantially in the course of the 20th century, especially along the eastern and western walls and with those alterations giving the building its current appearance.
- 4.42 As such, the building really only superficially represents a building which has a longevity in this location. Much of the fabric is of 19th and 20th century date and its massing does not represent the traditional building which once stood here. Inasmuch as it is of any interest, this is only considered to be of **low** significance in and of itself.
- 4.43 Insofar as the building's setting makes a contribution to its significance, this is a fairly small one. It derives from its associative inter-relationships with the House to the south-west and the farm complex to the north. Here it forms a key element of this historic residential complex and highlights the connections between the domestic operation focused on the

main house and the ancillary buildings and spaces around it, which served to support its occupation in a variety of different ways.

- 4.44 The building possesses some limited historic value by virtue of its 19th century fabric and therefore represents a survival from the precursor to the existing (1912) Llansantffraed Court. It is also assessed as having equally limited evidential value, which is derived from the limited ability to understand its functional connection with the house, as a former stables and coach house. The timber frame in the northern gable demonstrates its link to the former farm buildings to the north.
- 4.45 The building is not assessed as possessing any particular aesthetic value and any communal value is considered to be restricted to the resident of the property prior to its re-acquisition by the owners of Sant Ffraed House for intended associated use.

Section 5 Impact Assessment

- 5.1 This section of the report assesses the impact of the development proposals on the significance of the building, as well as any features of significance it possesses and also its wider setting.

DEVELOPMENT PROPOSALS AND IMPACTS

- 5.2 The proposals focus on the reconfiguration of the internal spaces, external alterations and an extension to the rear and side of the building to create additional accommodation, in association with the wedding venue events in the main house.
- 5.3 In terms of the internal alterations, these principally involve the provision of partitions to create bedrooms on the ground floor and the insertion of a staircase in the coach house section to give access into the main accommodation area.
- 5.4 None of the key historic fabric and features is proposed to be removed for the completion of the proposed development. This comprises the earlier timber elements, much of the basic stonework, the timber frame in the spine wall and the flagstone/cobbled floor treatment in the former stables, which would be retained, with the latter conserved beneath a radon gas membrane.
- 5.5 These elements of the building's fabric would be preserved and hence their contribution to its overall significance would not be lost or reduced.
- 5.6 In terms of interventions to the fabric, the main floor joists in G1 are to be replaced due to ongoing issues with decay, but in an case these are square-section regular sawn timbers of evident later 19th century date, which possess no significance.
- 5.7 Three interventions are proposed to insert doors into the fabric of the building: one within the internal spine wall between G1 and G2, one within the spine wall on the first floor and one within the gable end at the upper level between G2 and G3. The intervention between G1 and G2 is in an original wall and is therefore assessed as contributing positively to the significance of this building, albeit this is a small contribution and the fabric which would be removed comprises undifferentiated rubblestone of no particular architectural interest or distinction and it is without decorative sophistication. The second intervention is in the upper part of the spine wall, which is 19th century brickwork, and the intervention between G2 and G3 gable; demonstrably altered and rebuilt as evidenced by the brickwork.
- 5.8 The removal of these small pieces of fabric would have a minimal impact on the asset's significance, which in turn would enhance the use of this space and therefore give it a more substantive, stable and long-term use consistent with its conservation.
- 5.9 As far as external works are concerned, these involve the addition of an extension to the rear of the building and the replacement of windows. The current double door opening would also be raised and a glazed door/screen added, with an oak beam head to the door.

- 5.10 The extension is of single-storey construction, with a flat roof and low profile skylights. The location of this extension has been carefully considered in relation to the sensitivity of the site, in particular in relation to the Grade II listed status of the main building. Its location off the rear elevation means that the main 'frontage' of the building, for what it is worth, would be maintained and (likewise) so would its relationship with the main House across the courtyard to the south-west.
- 5.11 In its previous function as a coach house and stables, this elevation is likely to have been seen on the approach along the drive. The extension to the rear also means the proposals do not encroach into the former 'stable yard' area to the front. In contrast, it lies to the rear, contained well within the established walled and fenced area and where its impact on the setting of this building can be minimised, if not eliminated entirely.
- 5.12 The location of the extension to the rear, in terms of springing off the single-storey section, is due to the need to meet the standards for floor to ceiling heights, whilst still maintaining the rooflines of the host building. In this regard, the height of the soffit for the 'coach house' section is higher than that of the main section and in order to keep below this, the extension has had to be placed in this location.
- 5.13 In terms of the materials, the external walls are proposed to be red brick, to match in coursing and style with the adjacent recently constructed wall. Whilst render or timber cladding were both considered, red brick was ultimately chosen as it reflects well the brick used throughout the site for the later buildings and marks a clear demarcation between the 'older' section of the building and the new extension.
- 5.14 Sensitive lighting is required on the external wall of the property, in order to light a passage for an emergency exit. It should be noted that two lights are already located on the gable end of the existing building, presumably for the security of the previous occupants. The only glazing is to be situated towards the garden area, with a large, glazed door here and hence this would have no bearing on the significance of the fabric or the contribution drawn from its wider setting.
- 5.15 Overall, the construction of the extension is not considered to cause any harm to the significance of the building, in and of itself, and it is considered an appropriate design response in the context of the provision of additional accommodation, to help ensure the ongoing vitality of the business operations at the site.
- 5.16 In terms of wider effects, the single-storey flat roof structure is unobtrusive and would not be visible from the majority of the wider site, but it may be possible to view parts of the extension from the upper rear windows in Sant Ffraed House itself (e.g. **Image EDP A1.29**). However, these windows relate to the rear elements (service) parts of the house in the form of servants' attic bedrooms.
- 5.17 Furthermore, these areas of the house have always looked over these more work-a-day, functional aspects of the complex, where they are read as part of the farm group which has evolved during the lifespan of the house. As such, the new extension would be seen in the context of this and not a feature which would be dominant, incongruous or inappropriate within the setting of the main house; hence not causing any impact or harm.

- 5.18 In terms of other exterior alterations, the 'coach house' opening on the main elevation would be opened out to its former extent, with the later brick segmental arch and infill above being removed and replaced with an oak beam. The brick jambs will remain. The new door here, in common with the windows, would be powder coated aluminium double-glazed units. Considering that the current windows are PVC and the doors are modern, this element is not considered to alter the significance of the building. In fact, there would be a slight enhancement by restoring the 'coach house' opening to its former extent and reinstating this historic feature of the building.
- 5.19 Otherwise, the existing render on this elevation would be retained and repaired where necessary, keeping the simple aesthetic of a former agricultural building.
- 5.20 Two new gate openings are all proposed within the boundary walling of the property to provide a direct linkage to the main complex. This wall is modern and not considered to be listed. Even if it were, such openings would not be uncharacteristic of linked functional yard areas and their formation is considered to cause no harm to significance.

Section 6 Conclusions

- 6.1 The 'Cottage' has been deemed by the local planning authority as being 'curtilage listed' due to its association with the Grade II listed Llansantffraed Court (Sant Ffraed House) which is located adjacent. Even so, this report concludes that this 'curtilage listed' structure is of **low** significance, although it is afforded the same statutory protection that the 1990 Act affords to Llansantffraed Court.
- 6.2 This is because, whilst the earliest elements of the building pre-date the current house and most likely relate to an earlier iteration of the post-medieval house which once stood there, there has been such alteration that the overwhelming majority of the fabric dates from the 19th and late 20th centuries.
- 6.3 The original use of the building is unclear, although by 1911 it was in use as a stable and coach house, albeit the architecture of the 'coach house' was still low vernacular rather than any more flamboyant style which might be expected for such a building.
- 6.4 Evidence for the form and use of the earlier building is slight, but tantalising in the form of a single timber beam at the northern gable end, which is likely to pre-date the 19th century and also shows its former connections to the farm range to the north. Stone walling survives in the gable end and the spine wall, the latter with timber frame on top, which was latterly infilled in the later 19th century and the building raised. Some sections of flagstone floor and cobbling relate to its former stables use and are considered highly likely to date from the 19th century. These features, although of some interest locally, do not raise the significance of the building above '**low**'. These features are retained as part of the scheme in any event.
- 6.5 The report has assessed the impact of the proposed development on that significance, given that the Council has a statutory duty to "...have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses" under s66(1) of the 1990 Act.
- 6.6 The assessment demonstrates that the implementation of the development proposals would give rise to a 'minimal' loss of the building's significance through the creation of new door openings within the fabric, enabling a better flow to meet the requirements of the intended use. An extension to the rear has also been assessed as causing no harm to the building's significance or the greater significance of the adjacent listed building.
- 6.7 Balanced against that minimal loss of significance is the provision of a long-term use for this building, which will ensure its conservation in a sound and stable condition. It also brings the building back into a use which has a direct association in support of the main listed building, by providing additional accommodation to augment and underpin the operation and economic viability of the wedding venue business which is operated from the premises and adjacent areas. It is considered that this benefit should be afforded significant weight in the decision-making process and hence the proposal ought to be treated favourably by the Council when it is submitted for evaluation and determination.

- 6.8 Indeed, it is ultimately concluded that there is nothing about the proposal which is not consistent with the legislative and planning policy provisions directing the conservation and management of listed buildings in Wales or in Monmouthshire in particular.

Section 7

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Appendix EDP 1 Images and Photographic Evidence



Image EDP A1.1: View of the western elevation of the 'Cottage', looking east. Showing the two-storey section and 'coach house' section to right.



Image EDP A1.2: View of the eastern elevation of the 'Cottage', showing the main section to right and 'coach house' section to left. The majority of the fabric on the main section, shown here, is later 20th century in date.



Image EDP A1.3: View of the stone spine wall dividing G1 and G2, with brick on the upper part of the wall.



Image EDP A1.4: General view of room G1 looking north, showing the flooring.



Image EDP A1.5: Detail of the flagstone section of the floor in G1, looking north.



Image EDP A1.6: Detail of the cobble section in G1, looking east.



Image EDP A1.7: View of the 19th century timber joists of the upper floor in G1, looking south.



Image EDP A1.8: View of the western wall of G1, showing the blockwork infill of the former openings with windows. The floor joists of the upper floor can also be seen.



Image EDP A1.9: View of the eastern face of the main spine wall, showing stone below and timber frame above.



Image EDP A1.10: View of the lower part of the southern gable in G1, looking south. Showing the inserted joist holes to take the later floor.



Image EDP A1.11: View of the Upper part of the southern gable in G1, showing the rendered upper portion most likely hiding brickwork, looking south.



Image EDP A1.12: View of the northern gable, looking north and showing the earlier, lower timber beam and the later raised floor above.



Image EDP A1.13: Upper part of the northern gable, which is rendered brickwork, looking north.



Image EDP A1.14: Detail of the timber beam looking north-west and showing the cutout recess indicating a door into the northern building. Also showing the later beam above, where the floor has clearly been raised.



Image EDP A1.15: View of the roof structure of the main section, looking south. The east (left-hand) pitch has been completely replaced in the 20th century.



Image EDP A1.16: General view of room G2 looking north, showing the stone spine wall with timber frame on top to the left and brick fireplace on the northern wall. The right-hand wall is rendered blockwork.



Image EDP A1.17: View of the fireplace and adjacent cupboard in the northern elevation of G2, looking north.



Image EDP A1.18: View of the exposed 19th century timber upright in the upper part of the central spine wall looking west, showing the cut off timber truss.



Image EDP A1.19: General view of Room G2 looking south, showing the lower part of the gable and door into the 'coach house' section G3.



Image EDP A1.20: Upper part of the gable end in G2, looking south, showing brickwork rebuilding/extension here. Also showing the 20th century roof.



Image EDP A1.21: View of the door in the spine wall between the two upper rooms looking north-west. Also showing detail of the brickwork of the upper half of the spine wall.



Image EDP A1.22: View into the upper floor above G2 looking north, showing the completely 20th century floor and roof structure.



Image EDP A1.23: View of the western elevation of the 'coach house' section looking east, showing the clearly infilled section of opening above the brick arch.



Image EDP A1.24: View of the interior of G3 (coach house) showing the inside of the former opening and infill above the brick arch.



Image EDP A1.25: Eastern and western elevations of the 'coach house' section, looking west, showing the two openings in the eastern wall and the plain southern wall.



Image EDP A1.26: General view of the Interior of G3 (coach house) section, looking east.



Image EDP A1.27: View of the roof structure within G3 (coach house) looking south.



Image EDP A1.28: General view of G3 (coach house) looking north, note the exposed timber frame within the gable end indicating the roof had been raised.

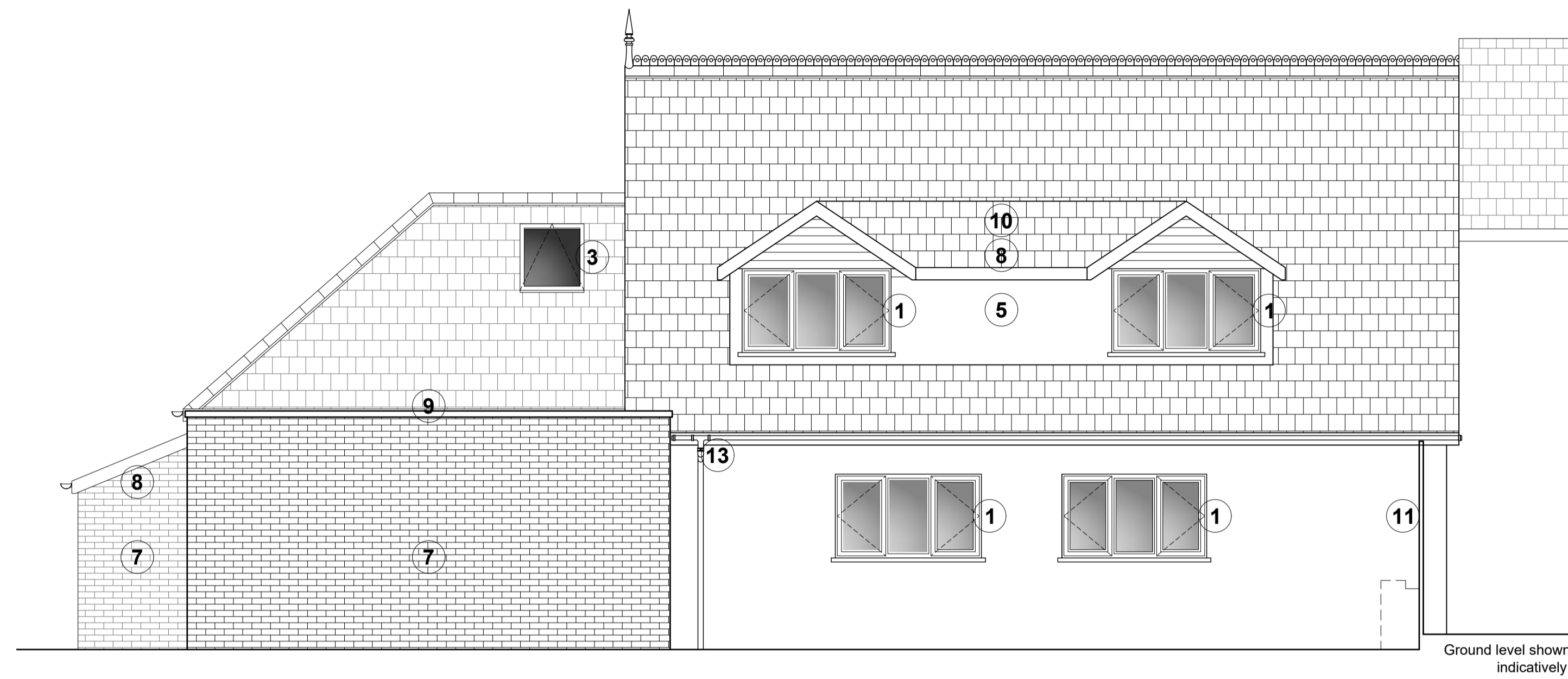


Image EDP A1.29: Typical view towards the site from the attic rooms in the main house, looking north-east (the window within the shot is that of the stairwell, and no view is possible from this window). This shows the view across the functional service areas of the complex and how the extension would not be incongruous.

Appendix EDP 2 Proposals

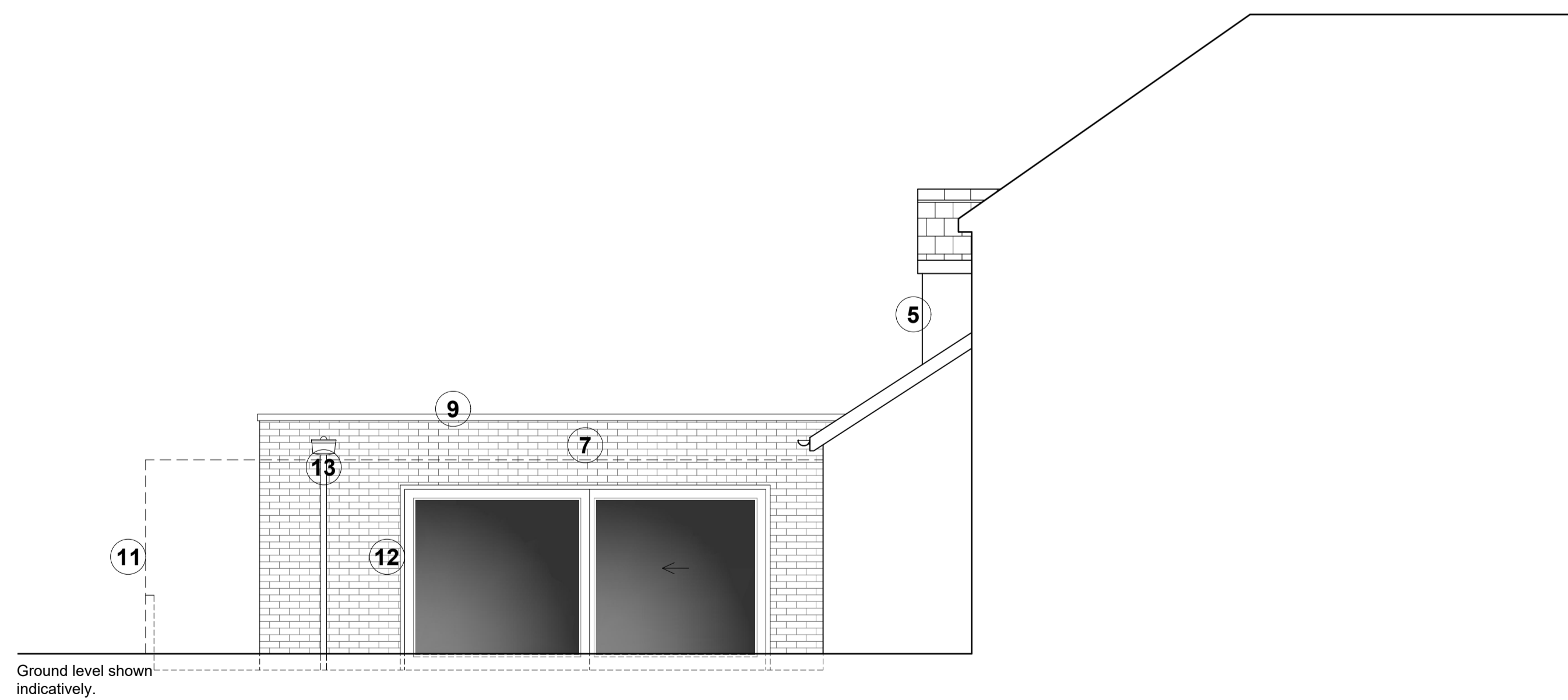
ELEVATION KEY

- 1 - New slimline double glazed powder coated aluminum window.
- 2 - New slimline double glazed powder coated aluminum entrance door and side screens.
- 3 - New double glazed skylight.
- 4 - Existing window blocked up to match exiting render finish.
- 5 - New vertical hanging tile to match existing.
- 6 - New slimline steel door with ventilated louvers.
- 7 - New single storey extension with red brickwork finish to match existing boundary walls.
- 8 - New fascia and soffit boards.
- 9 - New stone capping to parapet wall.
- 10 - New roof tile to match existing to shed dormer.
- 11 - Existing boundary fence retained.
- 12 - New slimline double glazed aluminum sliding doors.
- 13 - New cast iron effect rainwater goods.
- 14 - New oak lintel over raised entrance door.



PROPOSED REAR ELEVATION

Scale 1:50@A1



PROPOSED SECTIONAL SIDE ELEVATION

Scale 1:50@A1



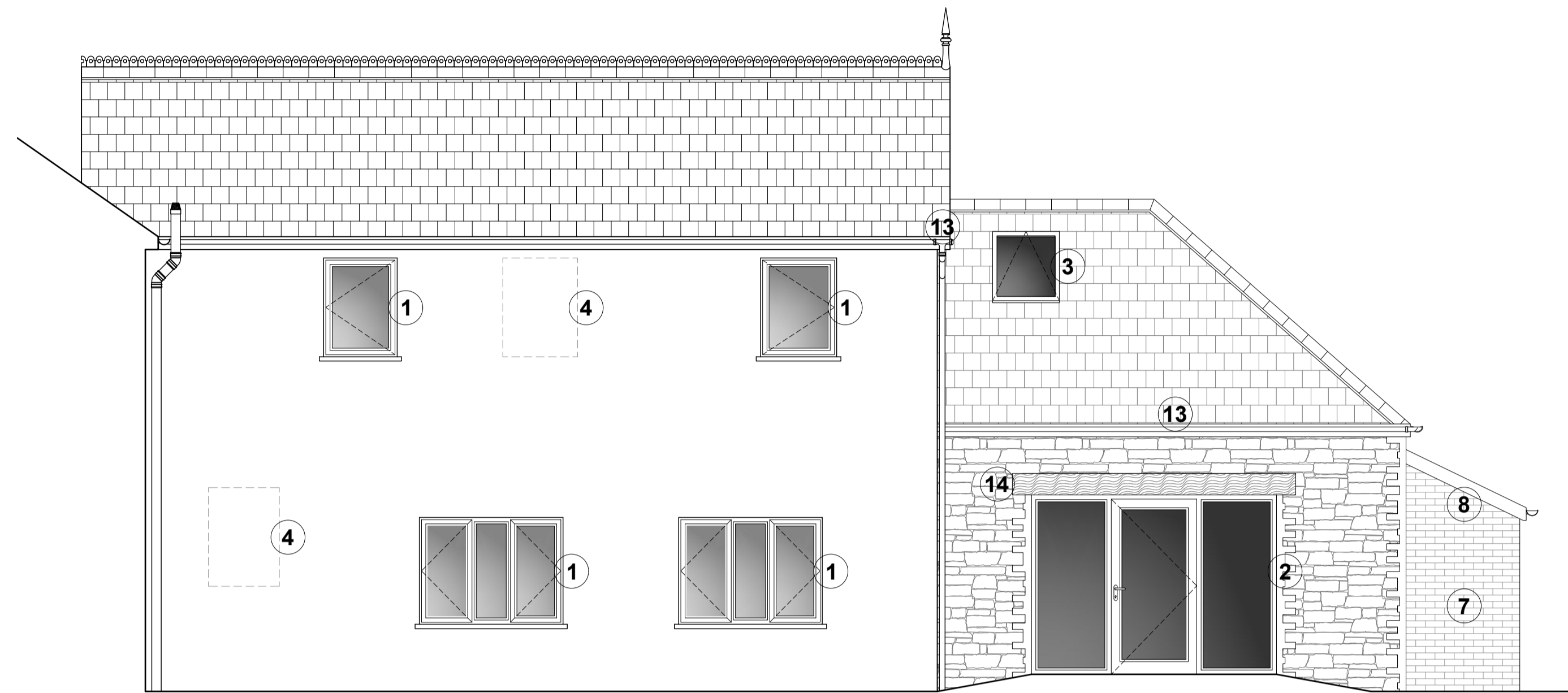
JOB: Sant Ffraed House - The Oldwalls Collection		CLIENT: Mr Nigel Hole Snaco Ltd	
ADDRESS: Sant Ffraed House, Llanvihangel Gobion, Abergavenny, NP7 9BA			
TITLE: PROPOSED REAR & SECTIONAL SIDE ELEVATION			
SYSTEM No: A-G/Fairhill - Sant Ffraed House/1493-23-Planning 1	DATE: 19/04/2023	DRW-No: P09	Rev: E
JOB No: 1493-23	Checked by:		
SCALES: A1@1:50	DRAWN BY: D.Nokes		
REVISIONS DESCRIPTION:			
A - Amendments to incorporate external plant room. 07-06-23 (DN)			
B - Amendments following client meeting. 15-06-23 (DN)			
C - Cladding added to single storey extension. 16-06-23 (DN)			
D - Amendments following LA Heritage Officer's comments. 30-06-23 (DN)			
E - Further amendments following comments. 30-06-23 (DN)			
<small>ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawing provided.</small>			



Thomas Parry Design
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21 Gower Road, Sletty
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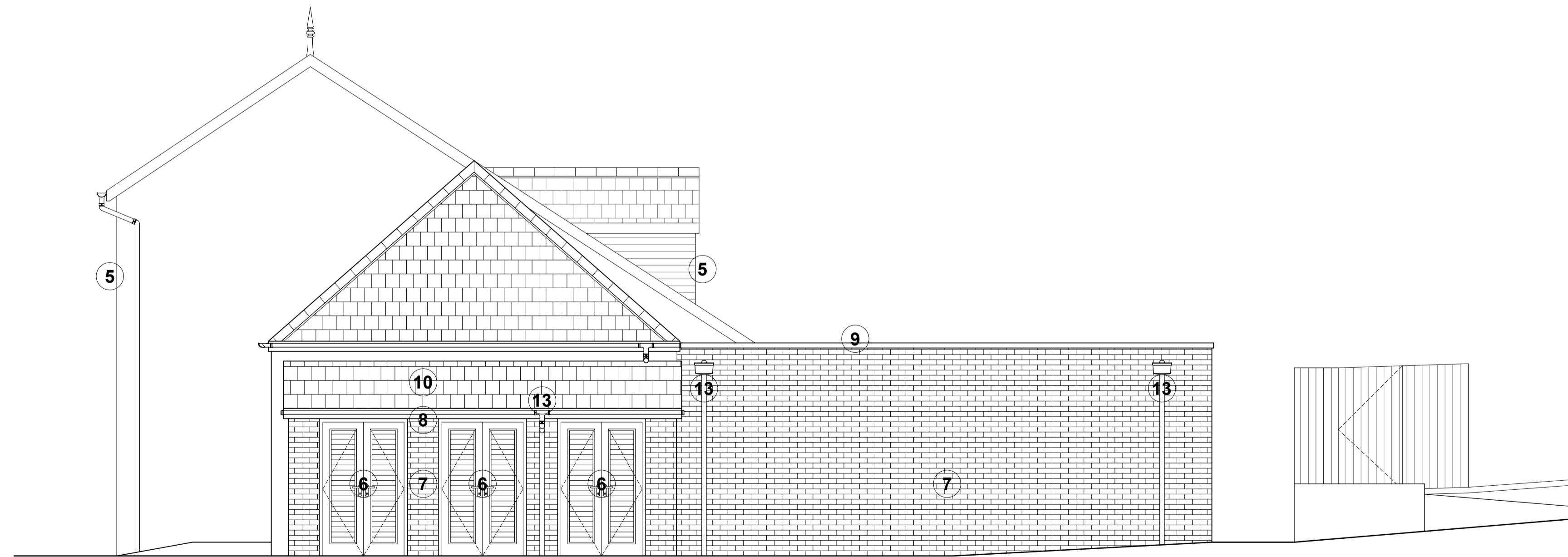
ELEVATION KEY

- 1 - New slimline double glazed powder coated aluminum window.
- 2 - New slimline double glazed powder coated aluminum entrance door and side screens.
- 3 - New double glazed skylight.
- 4 - Existing window blocked up to match exiting render finish.
- 5 - New horizontal cladding.
- 6 - New slimline steel door with ventilated louvers.
- 7 - New single storey extension with red brickwork finish to match existing boundary walls.
- 8 - New fascia and soffit boards.
- 9 - New stone capping to parapet wall.
- 10 - New roof tile to match existing to shed dormer.
- 11 - Existing boundary fence retained.
- 12 - New slimline double glazed aluminum sliding doors.
- 13 - New cast iron effect rainwater goods.
- 14 - New oak lintel over raised entrance door.



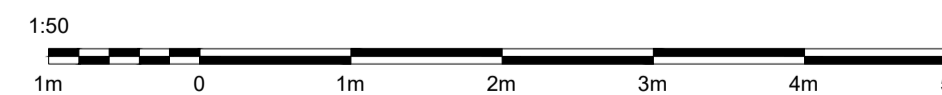
PROPOSED FRONT ELEVATION

Scale 1:50@A1



PROPOSED SIDE ELEVATION

Scale 1:50@A1



JOB: Sant Ffraed House - The Oldwalls Collection CLIENT: Mr Nigel Hole
 ADDRESS: Sant Ffraed House, Llanvihangel Gobion, Abergavenny, NP7 9BA Snaco Ltd

TITLE: PROPOSED FRONT & SIDE ELEVATION

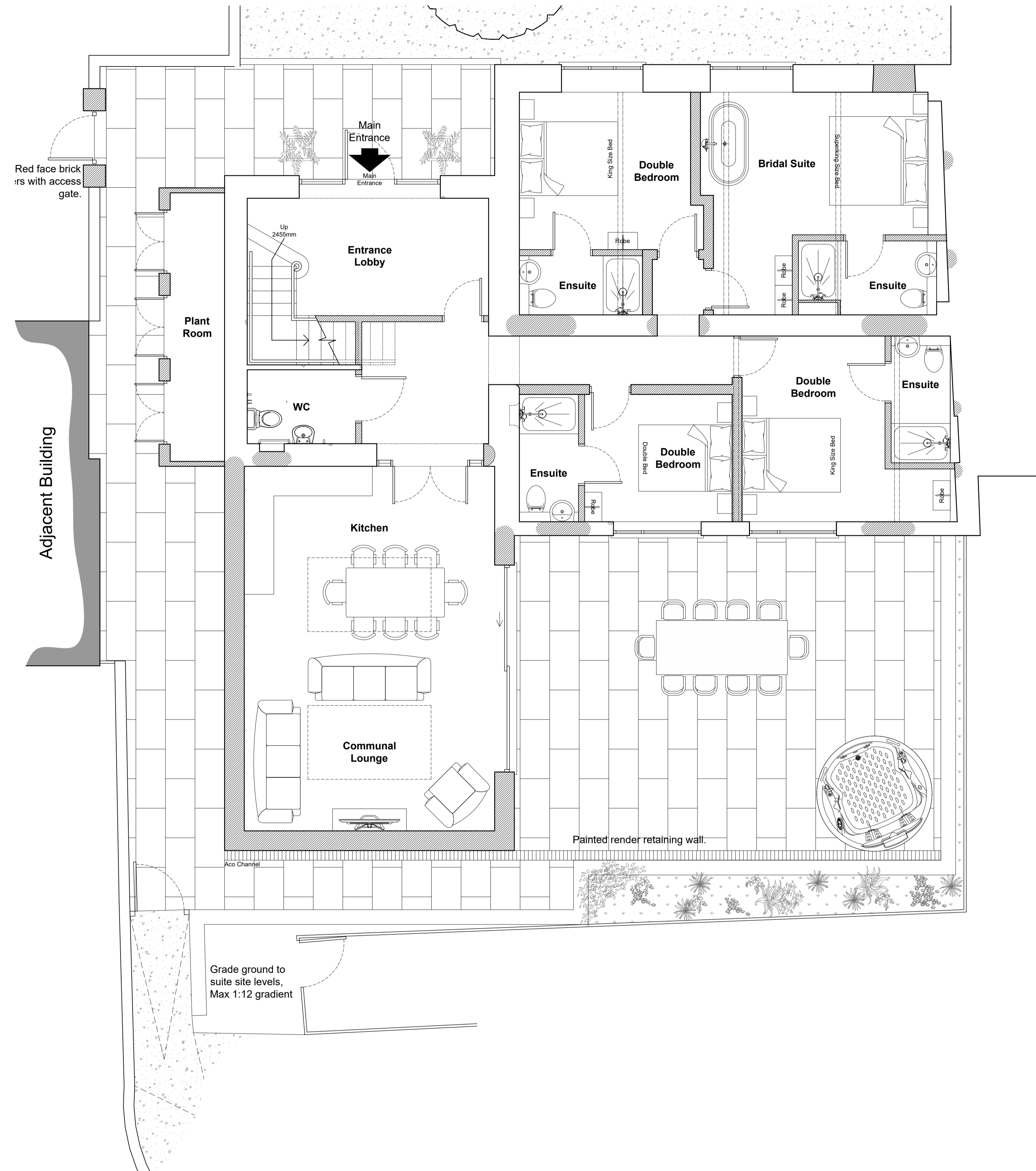
SYSTEM No. A-G/Fairhill - Sant Ffraed House/1493-23-Planning 1 DATE: 19/04/2023
 JOB No: 1493-23 Checked by: P08 F
 SCALES: A1@1:50 DRAWN BY: D.Nokes

REVISIONS DESCRIPTION:
 A - Amendments to incorporate external plant room. 07-06-23 (DN)
 B - Bay windows removed. 09-06-23 (DN)
 C - Amendments following client meeting. 15-06-23 (DN)
 D - Cladding added to single storey extension. 16-06-23 (DN)
 E - Amendments following LA Heritage Officer's comments. 30-06-23 (DN)
 F - Further amendments following comments. 30-06-23 (DN)

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawing provided.



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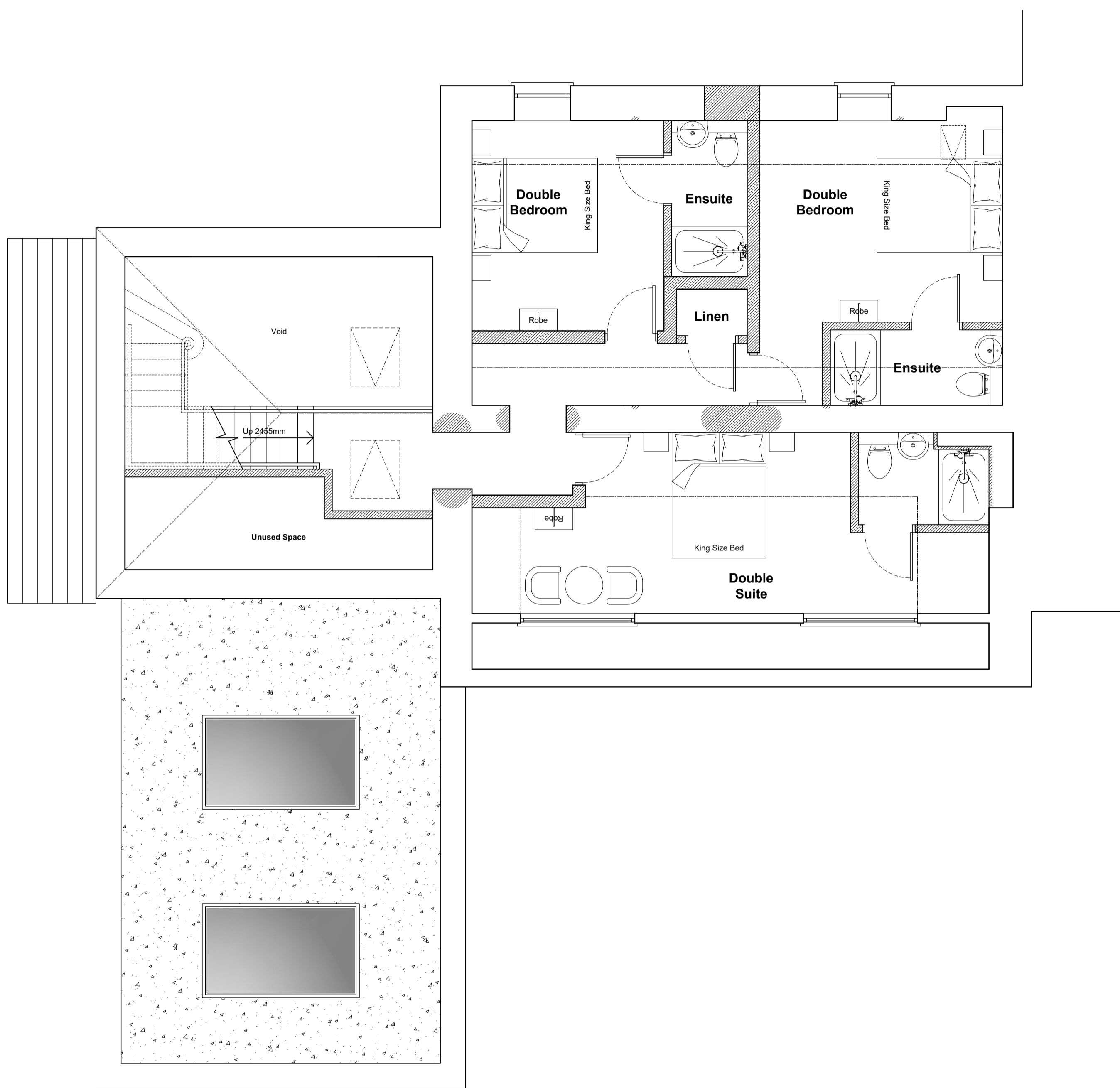
PROPOSED GROUND FLOOR PLAN
Scale 1:50@A1



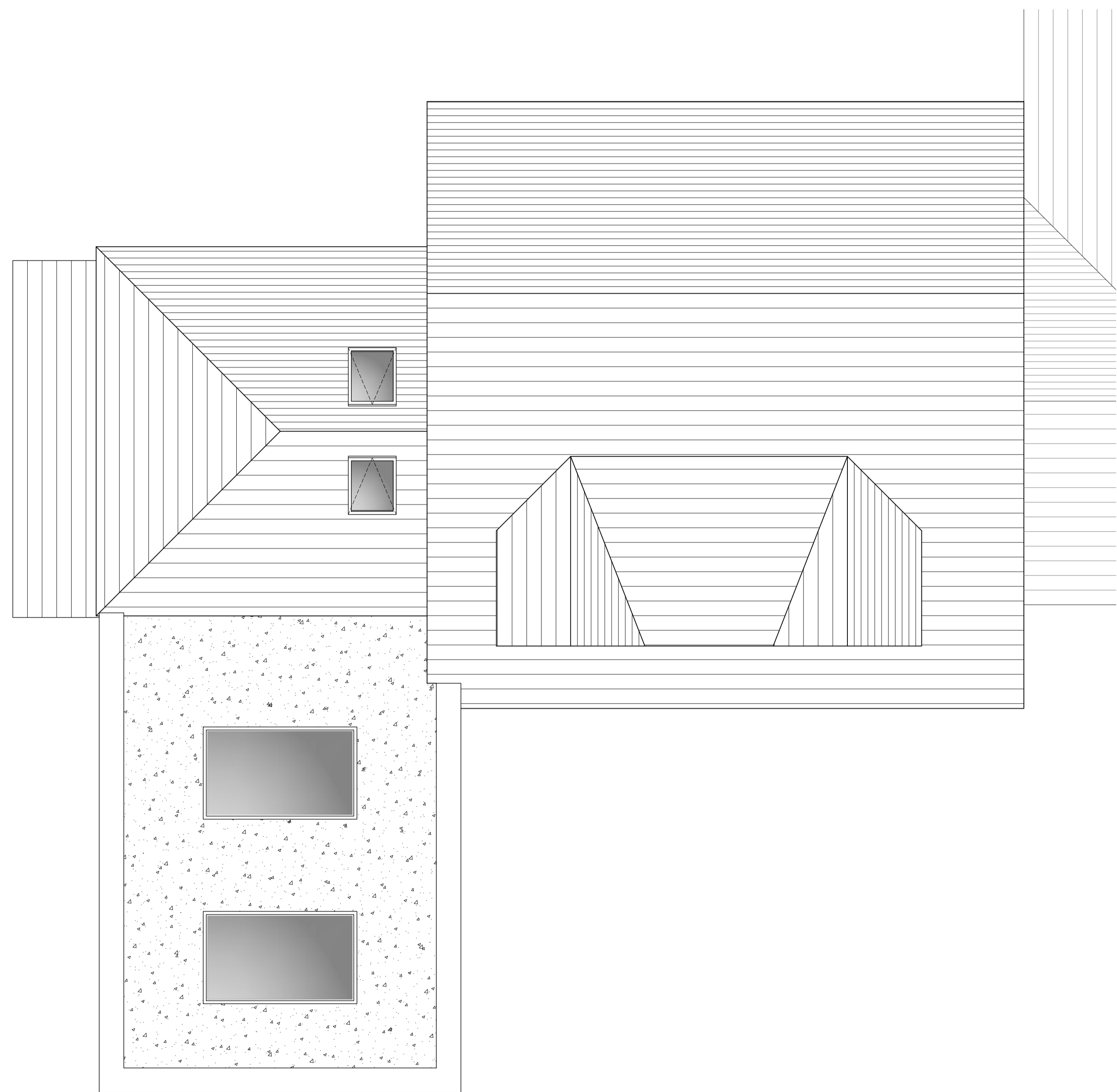
JOB: Sant Fraed House - The Oldwalls Collection		CLIENT: Mr Nigel Hole	
ADDRESS: Sant Fraed House, Llanvihangel Gobion, Abergavenny, NP7 9BA		Snaco Ltd	
TITLE: PROPOSED GROUND FLOOR PLAN			
SYSTEM No: A-G/Fairhill - Sant Fraed House/1493-23-Planning 1	DATE: 19/04/2023	DRW-No:	Rev
JOB No: 1493-23	Checked by:	P06	D
SCALES: A1@1:50	DRAWN BY: D.Nokes		
REVISIONS DESCRIPTION: A - Amendments to incorporate external plant room. 07-06-23 (DN) B - Amendments following client meeting. 16-06-23 (DN) C - Amendments following LA Heritage Officer's comments. 30-06-23 (DN) D - Further amendments following comments. 30-06-23 (DN)			

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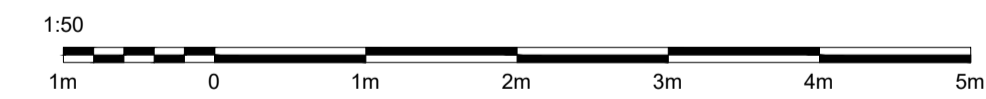
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PROPOSED FIRST FLOOR PLAN
Scale 1:50@A1

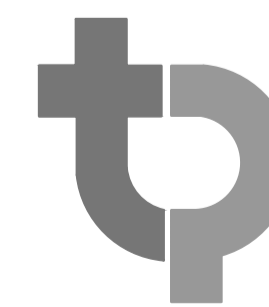


PROPOSED ROOF PLAN
Scale 1:50@A1



JOB: Sant Ffraed House - The Oldwalls Collection	CLIENT: Mr Nigel Hole Snaco Ltd		
ADDRESS: Sant Ffraed House, Llanvihangel Gobion, Abergavenny, NP7 9BA			
TITLE: PROPOSED FIRST FLOOR & ROOF PLAN			
SYSTEM No: A-G/Fairhill - Sant Ffraed House/ 1493-23-Planning 1	DATE: 19/04/2023	DRW-No.	Rev
JOB No: 1493-23	Checked by:	P07	C
SCALES: A1@1:50	DRAWN BY: D.Nokes		

REVISIONS DESCRIPTION:
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B - Amendments following LA Heritage Officer's comments. 30-06-23 (DN)
C - Further amendments following comments. 30-06-23 (DN)

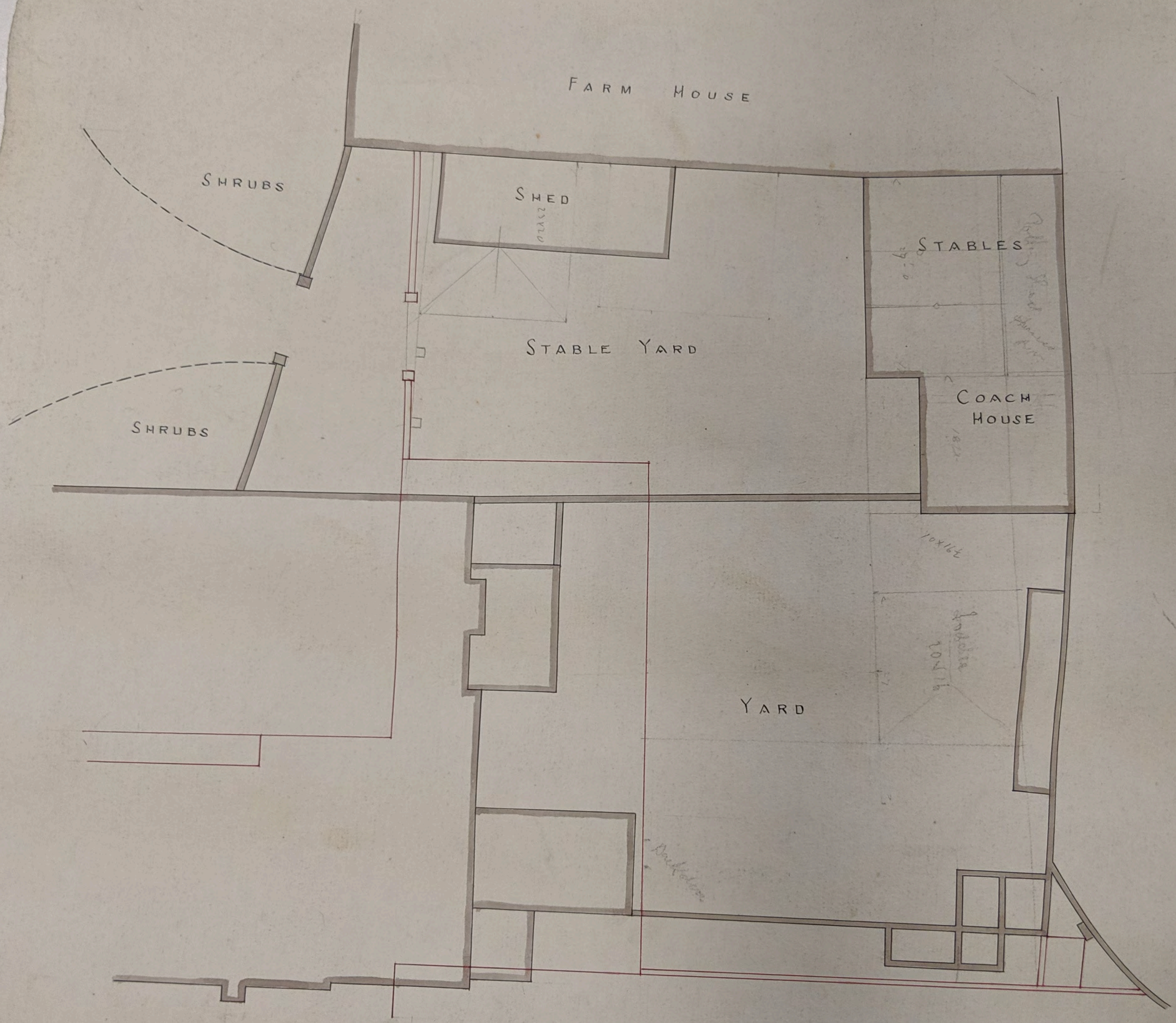


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Appendix EDP 3
1911 Plan



HANSAATFRAED COURT

22
3
6
2

15

Appendix EDP 4
Addendum Historic Building Record (edp8248_r002)

The Cottage, Sant Ffraed House

Addendum Historic Building Record

edp8248_r002a


QA: E0a/ACr_NHa/SCh_071123


1 INTRODUCTION

- 1.1 This Addendum Historic Building Record had been prepared in relation to listed building consent DM/2023/00951 and planning application DM/2023/00950 for an extension and internal alterations to The Cottage, Sant Ffraed House.
- 1.2 A Heritage Impact Statement and Historic Building Record (edp8248_r001) has been prepared in support of the application following a scope and methodology agreed by the Senior Heritage Management Officer at Monmouthshire Council. Following additional comments on the application, further detail on the timber framing in The Cottage was requested in relation to:
- Saw/axe cut marks on the timbers;
 - Profiles of each timber at both earlier level and later Victorian levels;
 - Each beam's cut; and
 - The form and nature of any joints (pegs etc.).
- 1.3 As detailed within the earlier report, the available evidence shows that the existing building on this site dates from the middle of the 19th century, and it underwent an extensive rebuild in the mid-late 19th century and further alterations in the 20th century which resulted in the re-building of an eastern bay.
- 1.4 There is, however, also evidence for an earlier building on the site, in the presence of timber framing in the northern wall, which is of clearly an earlier date than the rest of the fabric but may well have been recycled and re-used from a different structure.
- 1.5 In terms of the timber elements in question, these relate to five areas:
1. Earlier timber in the northern wall;
 2. Timber frame on the upper part of the spine wall/southern gable;
 3. Late 19th century timber floor joists;
 4. Timber rafters in the 'coach-house'; and


5. Later 20th century timber in the eastern range re-build (no interest).
- 1.6 The table below (**Table EDP 1.1**) provides further details of these timbers in relation to any saw/cut marks, profile, cut and jointing methods, where observable.
- 1.7 The provision of the below allows for a detailed record of the structure which should be read in conjunction with the original report. Whilst it remains possible that some elements of an earlier (i.e. pre-18th century) structure may once have existed here in view of the possible presence of an earlier timber beam, further detailed examination has demonstrated that there is insufficient evidence to prove this.
- 1.8 Indeed, if anything, the evidence argues against this and suggests that the earlier timber beam in the north wall was recycled and re-sited and the timber frame of the spine wall is from the 19th century.
- 1.9 Such evidence includes the lack of pegs in the joints and the more regularly sawn upper timbers of the northern gable. At the same time, the original surface of the timber on the spine wall has also been removed, although again there is a general lack of pegging of the joints and this would be unusual for earlier timber.
- 1.10 Notwithstanding the interpretation, the photographic and descriptive record is considered to represent a proportionate and appropriate response in consideration of the overall low significance of the building in and of itself and the nature of the impacts which, in this case, involve no disturbance of the potential earlier timber elements of the building.



Table EDP 1.1: Timber details


Item	Photographs	Archive Ref	Remarks
Northern Gable		IMG_6575	<p>Only the face of the lower beam could be readily observed but it was seen to be in poor condition and as such there is no evidence for cut/adze marks other than at the extreme eastern end, where possible hand saw marks are visible and likely indicate it was pit/tresle sawn. Probable square section, although depth could not be observed. Very crudely chamfered with adze. Beam ends not observed due to later fabric. Recessed square door head at eastern end with crude/incomplete chamfer. Possible recessed door head at western end, although very crude and disturbed by later features/decay. No evidence for plank and muntin or wattle and daub groove/pegs observed due to it being embedded in fabric. Square floor joist notches to upper half. Later rectangular notch to face.</p> <p>Upper timbers partially obscured but comprised upright and two diagonal raking struts jointed to main beam with unpegged mortise and tenon joints. Section could not be observed due to being embedded in wall. Faces are flat and sawn with very crisp angle, but no cutmarks observed.</p>



Item	Photographs	Archive Ref	Remarks
Northern Gable	 A photograph showing a close-up of a wooden door head and uprights. The door head is a thick, light-colored wooden beam with a crude chamfered edge. The uprights are also made of wood and are joined to the door head with mortise and tenon joints. The surrounding wall is white plaster, and the floor is dirt. An orange-handled tool is visible in the foreground.	IMG_6576	Detail of recessed door head and uprights at eastern end of northern gable. Crude chamfer with adze. Beam end enclosed by later fabric to right. One vertical upright and one raking strut appear more regularly sawn with unpegged mortise and tenon joint.


Item	Photographs	Archive Ref	Remarks
Northern Gable		IMG_6576	Close up on eastern end and possible saw marks.


Item	Photographs	Archive Ref	Remarks
Northern Gable	 A photograph showing the interior of a northern gable. The wall is white with a horizontal wooden beam near the top. A vertical wooden beam is visible on the right side. A brick wall section is visible on the right. An orange-handled tool is leaning against the wall on the left.	IMG_6584	Detail of possible recessed door head and uprights at western end of northern gable. Much disturbed/decayed. Beam end obscured by later fabric, including a later timber insert of square planed wood visible to lower face to left, most likely for support due to decay.


Item	Photographs	Archive Ref	Remarks
Northern Gable		IMG_6578	<p>Detail of beam from western end, showing more clearly the inserted timber support on the underside of the beam at the western end. The left hand raking strut was poorly preserved and obscured making interpretation difficult.</p>
Northern Gable		IMG_6577	<p>Detail of beam from the eastern end, showing more clearly the crude adze chamfer on and around the recessed door head. Also showing more clearly the crisp and more regularly sawn uprights, suggesting beam is potentially re-sited.</p> <p>Upper beam is later floor joist, upright rectangular section with regular machine saw marks, some crude axe marks to 'rusticate' the beam.</p>



Item	Photographs	Archive Ref	Remarks
Central Spine Wall		IMG_6539	<p>The timber is completely embedded in the wall so only the eastern face could be seen, other than where a door is cut into the northern end. Square timber cill sitting on top of stone spine wall also partially obscured by plaster and paint.</p> <p>The cill beam is square sectioned. Concentric markings indicate mechanical finishing, indicative of a circular sander. This will have removed any evidence of earlier finishes. No chamfer.</p> <p>Uprights also square sectioned (?) and flush.</p> <p>Unpegged joints, possibly lap but more likely mortise and tenon. No evidence for floor joist recesses or any mortise holes in the face.</p> <p>The lower stonework is random rubble and not coursed, like the rest of the building, suggesting a cosmetic rebuild.</p> <p>The timber cill is at the same level as the beam in the northern wall, however, they are of differing section, details (i.e. lack of chamfers) and finishes.</p> <p>Floor joists above are of 20th century sawn soft wood form.</p>



Item	Photographs	Archive Ref	Remarks
Central Spine Wall		IMG_6537	Regular concentric circular markings on the timber, indicative of mechanical disc sanding.
Central Spine Wall		IMG_6532	<p>Square timber frame sitting on top of stone spine wall. Only visible on eastern face, partially obscured by plaster and paint. Uprights also square section(?) and flush. Unpegged joints, possibly lap but more likely mortise and tenon. No chamfer.</p> <p>Recessed door head cut in with no chamfer.</p> <p>Floor joist above are 20th century sawn soft wood.</p>



Item	Photographs	Archive Ref	Remarks
Central Spine Wall	 A photograph showing a close-up of a wooden truss joint. Two large, light-colored wooden beams are joined together, with a smaller rectangular section of wood (a truss) visible at the top. The joint is set into a white wall. A vertical metal rod with an orange top is visible in the foreground, likely used for scale or support. The floor below is made of dark, rough stone or brick.	IMG_6537	<p>Detail of upright and joint. Square section(?), sawn and planed, no cut/sawn marks observed. Unpegged joints, possibly lap but more likely mortise and tenon. No chamfer, beam ends not observed due to later fabric. Cut rectangular section truss visible at top of photograph, set into upright but joint (mortise and tenon?) not fully observed due to brick infill.</p> <p>Floor joist are 20th century sawn soft wood.</p>


Item	Photographs	Archive Ref	Remarks
Central Spine Wall		IMG_6546	Detail of upright and joint. Square section(?), sawn and planed, no cut/sawn marks observed. Cut rectangular section truss visible at top of photograph, set into upright but joint (mortise and tenon?) not fully observed due to brick infill.

Item	Photographs	Archive Ref	Remarks
Central Spine Wall	 A photograph showing the interior of a building, focusing on the central spine wall. The wall is white and shows signs of wear and tear. Three upright timbers are visible, supporting the roof structure. A modern 20th-century roof is visible on the right side. A small window is visible in the upper part of the image.	IMG_6548	General disposition of the three upright timbers in the central spine wall. Modern 20 th century roof to right.

Item	Photographs	Archive Ref	Remarks
First floor joists		IMG_6569	<p>Four floor joists. Upright rectangular section, with curve to underside to mimic 'sag'. Regular straight saw marks indicating mechanically sawn and with some crude axe marks to lower face to 'rusticate' the beams. Otherwise, no chamfers or stops. Upper with rectangular notches for joists. Beam ends decay on exterior (west) wall.</p>
First floor joists		IMG_6555	<p>Four floor joists. Upright rectangular section, with curve to underside to mimic 'sag'. Regular slight curved saw marks indicating mechanically sawn and with some crude axe marks to 'rusticate' the beams. Otherwise, no chamfers or stops. Upper with rectangular upright notches for joists. Beam ends decay on exterior (west) wall.</p>

Item	Photographs	Archive Ref	Remarks
First floor joists		IMG_6552	<p>Four floor joists. Upright rectangular section, with curve to underside to mimic 'sag'. Regular slight curved saw marks indicating mechanically sawn and with some crude axe marks to 'rusticate' the beams. Otherwise, no chamfers or stops. Upper with rectangular notches for joists. Beam ends decayed on exterior (west) wall.</p>
Frist floor joists		IMG_6552	<p>Four floor joists. Rectangular section, with curve to underside to mimic 'sag'. Regular slight curved saw marks indicating mechanically sawn and with some crude axe marks to 'rusticate' the beams. Otherwise, no chamfers or stops. Upper with rectangular notches for joists. Beam ends decayed on exterior (west) wall.</p>

Item	Photographs	Archive Ref	Remarks
Southern Gable		IMG_6516	<p>Single upright and end of truss observed on one side embedded in fabric. Full section not observed due to later covering. Upper joint with truss clasped with iron plate. No cut/adze marks observed due to later overpainting.</p>
Coach house		IMG_6381	<p>Hipped roof, regular sawn square section timbers regular saw marks. No chamfering. Purlins staggered butt joints with tusk tenon joint pinned with timber round peg.</p>

Item	Photographs	Archive Ref	Remarks
Coach house	 A photograph showing the interior of a wooden structure under construction. A prominent dark vertical post stands in the center. Horizontal beams are visible above and below it. The walls are made of brick and wood framing. The floor is covered with snow.	IMG_6377	Hipped roof, regular sawn square section timbers regular saw marks. No chamfering. Purlins staggered butt joints with tusk tenon joint pinned with timber round peg.

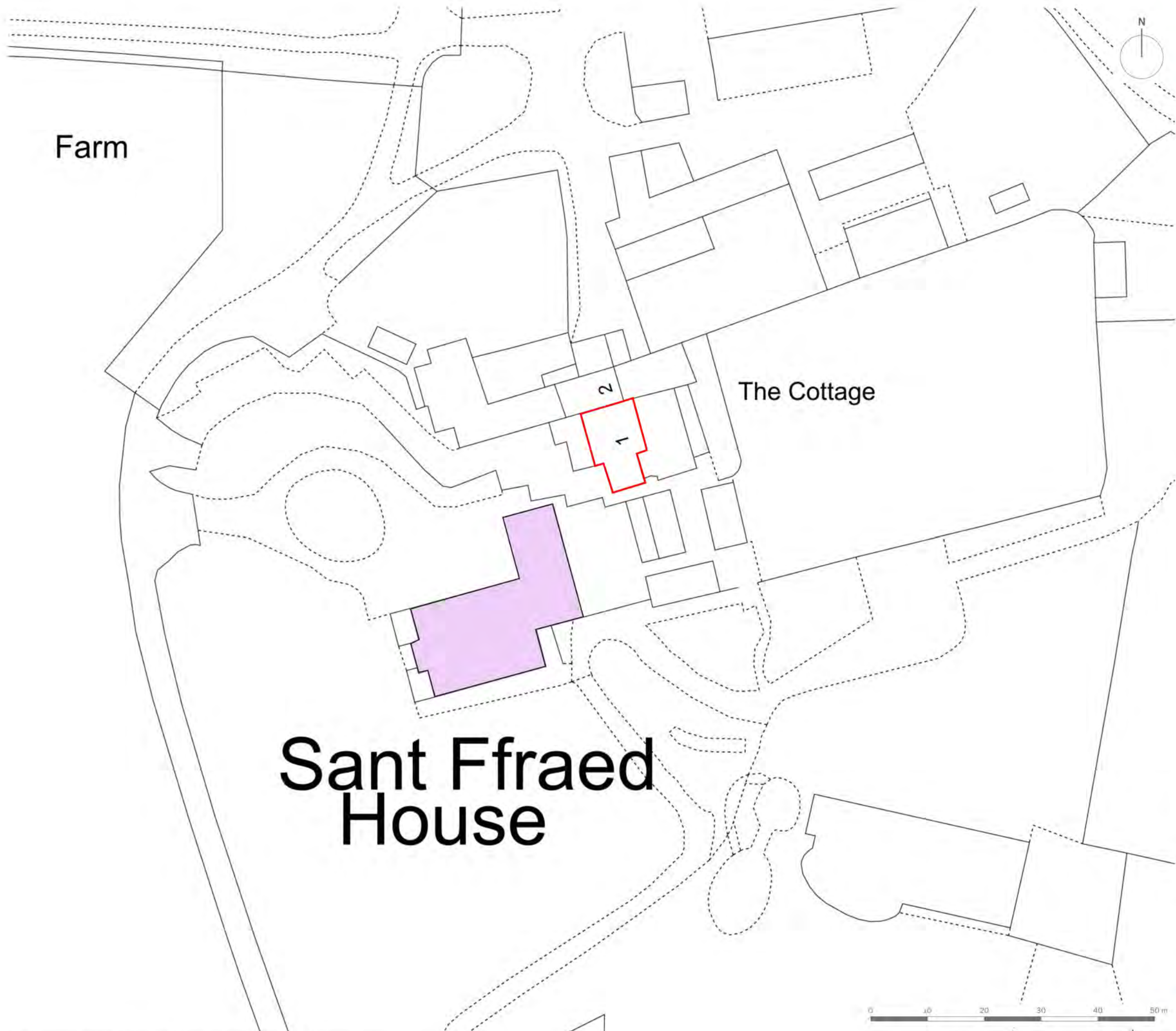
Plans

Plan EDP 1: Location of the Site and Wider Context
(edp8248_d001a 04 July 2023 EOa/ACr)

Plan EDP 2: Extracts from Historic Mapping
(edp8248_d002a 04 July 2023 EOa/ACr)

Plan EDP 3: Modern Building Outline Against 1920 Ordnance Survey Map
(edp8248_d003a 04 July 2023 EOa/ACr)

Plan EDP 4: Broad Dating of the Building (Ground Floor)
(edp8248_d004a 04 July 2023 EOa/ACr)



Saint Ffraed House
 The Cottage

Farm

The Cottage

Saint Ffraed House

client			
Howells (Chepstow)			
project title			
The Cottage, Saint Ffraed House			
drawing title			
Plan EDP 1: Location of the Site and Wider Context			
date	04 JULY 2023	drawn by	EOa
drawing number	edp8248_d001a	checked	ACr
scale	1:650 @ A3	QA	JFr



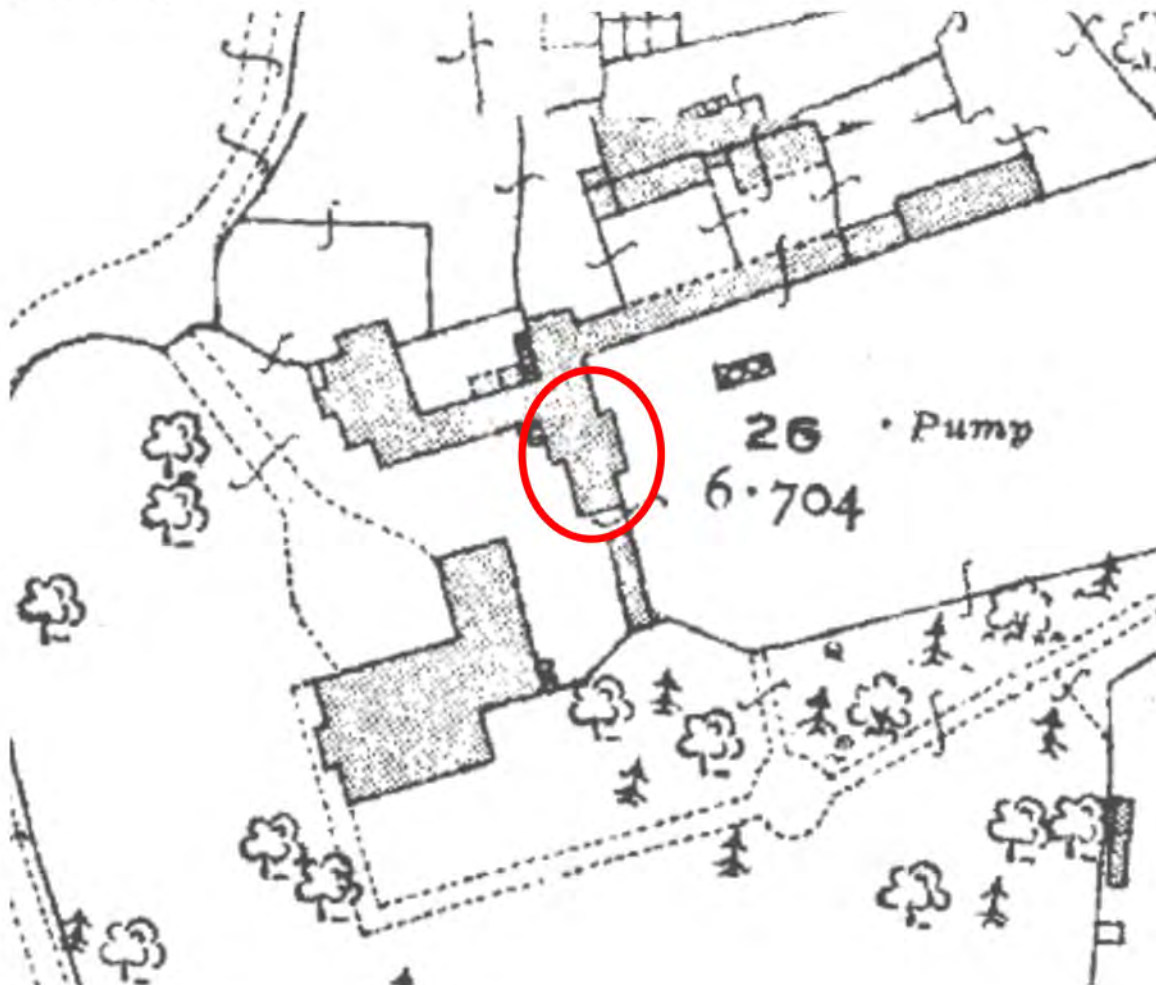
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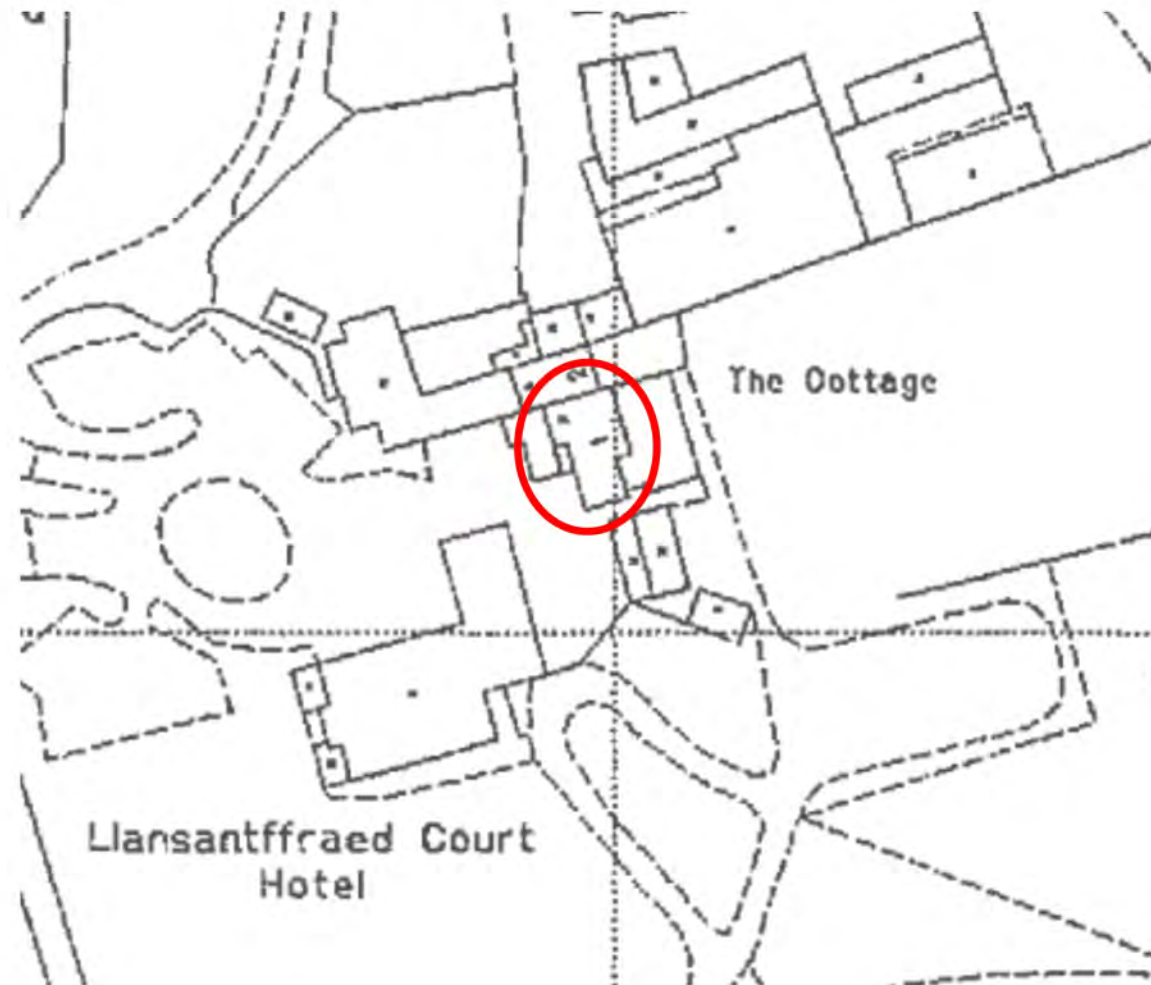
1843 Tithe Map



1882

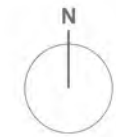


1920



1995

 Approximate Location of The Cottage



client
Howells (Chepstow)

project title
The Cottage, Sant Ffraed House

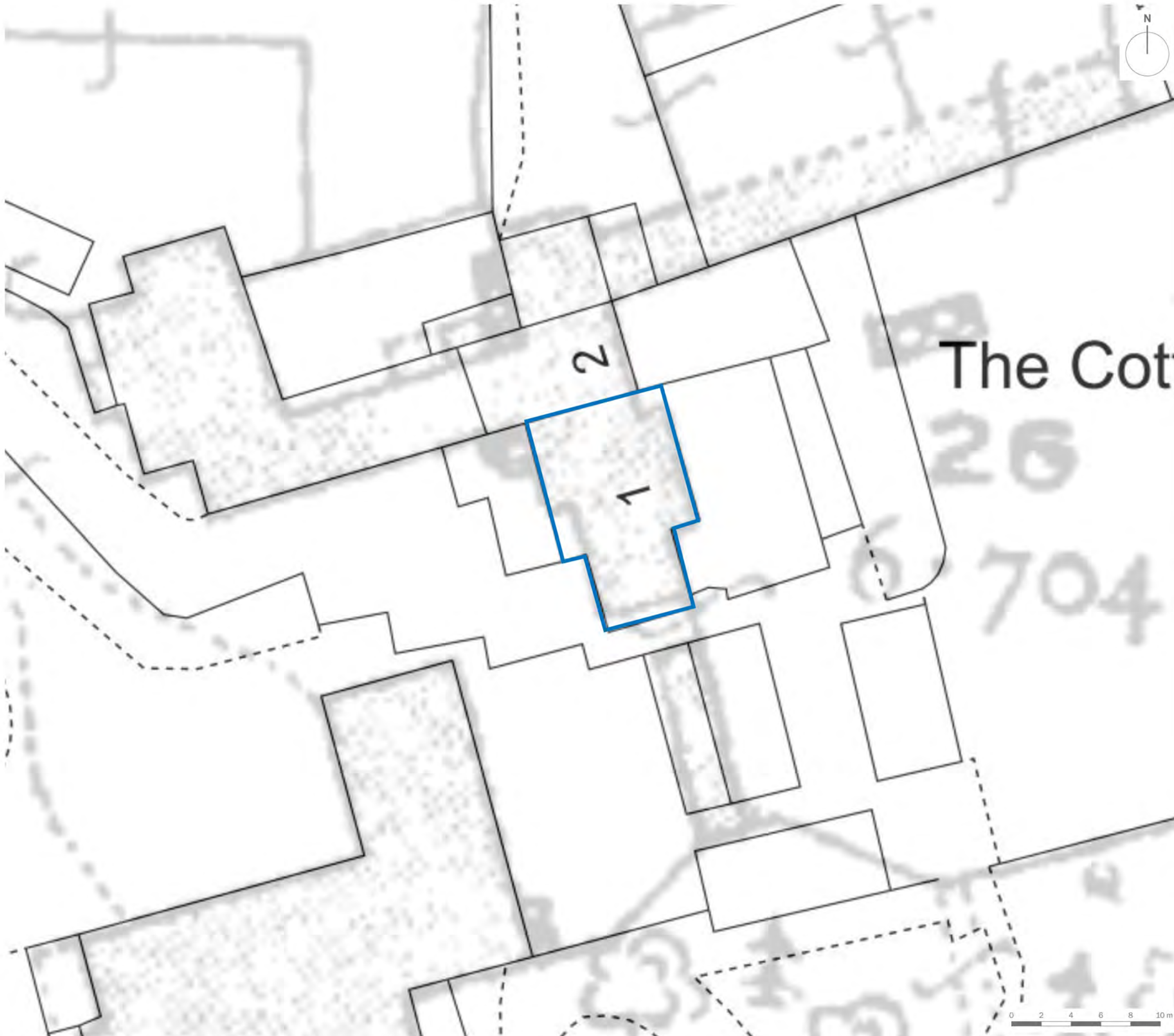
drawing title
Plan EDP 2: Extracts from Historic Mapping

date	04 JULY 2023	drawn by	EOa
drawing number	edp8248_d002a	checked	ACr
scale	1:1,000 @ A3	QA	JFr



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 Modern Building Outline

client
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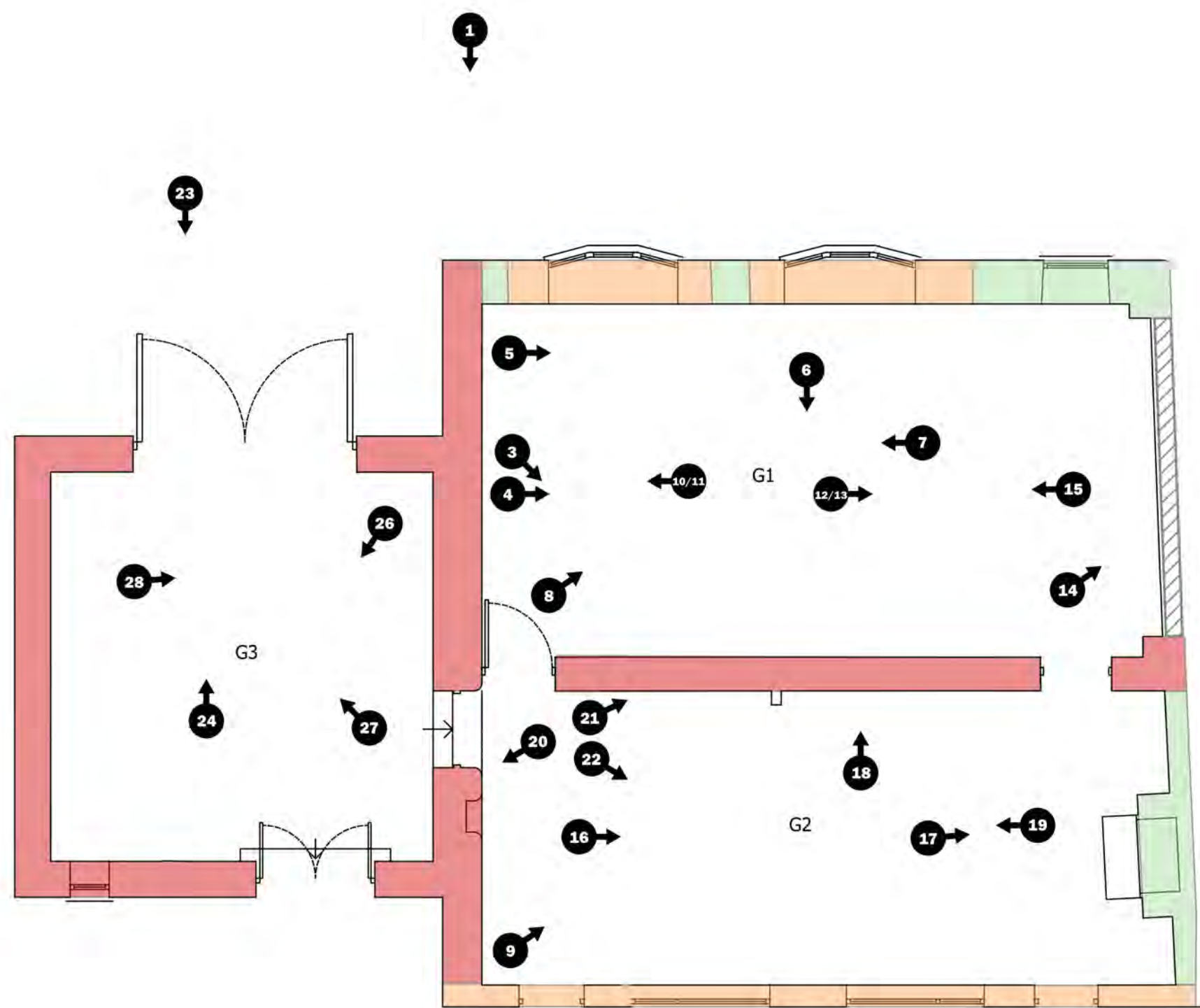
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The Cottage, Sant Ffraed House



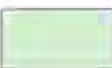


drawing title
Plan EDP 3: Modern Building Outline Against 1920 Ordnance Survey Map

date	04 JULY 2023	drawn by	EOa
drawing number	edp8248_d003a	checked	ACr
scale	1:250 @ A3	QA	JFr



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- Building Phasing**
-  Early Beam Above
 -  Phase 1
 -  Mid/Late 19th Century
 -  20th Century
 -  Photograph Locations

client
Howells (Chepstow)

project title
The Cottage, Sant Ffraed House

drawing title
Plan EDP 4: Broad Dating of the Building (Ground Floor)

date	04 JULY 2023	drawn by	EOa
drawing number	edp8248_d004a	checked	ACr
scale	Not to Scale @ A3	QA	JFr



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