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# Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.

October 2022 V 1.0



Historic Building Record Level 2

Project Code: A0389.1

Report no. 0374

Event PRN: 214114



**æon archaeology**

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# **Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR**

## **October 2022 v1.0**

Report no. 0374 / Event PRN: 214114

Historic Building Record Level 2

**Aeon Archaeology  
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Project Code: A0389.1

Date: 20/10/2022

Client: CETE Ltd

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# Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.

## October 2022 v1.0

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## 1.0 INTRODUCTION

*Comisiynwyd Aeon Archaeology gan CETE Ltd, a 'the Client' o hyn ymlaen, i gynnal cofnod adeiladu hanesyddol lefel 2 yn Neuadd Tanrallt, Ffordd Abergele, Llanddulas, Abergele LL22 8HR (yn canolbwyntio ar NGR SH 90153 78153) cyn newidiadau a dau estyniad unllawr newydd i ochr y neuadd, estyniad modurdy to brig, estyniad deulawr to brig cefn, feranda gwydr gyda newidiadau mewnol.*

*Cyflwynwyd cais cynllunio (cyf: 0/50020) gan y Client i Gyngor Bwrdeistref Sirol Conwy, 'y Cyngor' o hyn ymlaen, ar 9 Medi 2022 ond mae'n aros am benderfyniad. Y Development Management Archaeologist (DMA) yn Clwyd Powys Archaeological Trust (CPAT), yn rhinwedd ei swydd fel cynghorwyr i'r Cyngor, fod yr amod canlynol yn ymwneud ag archeoleg a threftadaeth yn cael ei gymhwyso i unrhyw ganiatâd sydd i ddod:*

Aeon Archaeology was commissioned by CETE Ltd, hereafter 'the Client', to carry out a level 2 historic building record of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR (centred on **NGR SH 90153 78153**) in advance of alterations and extensions comprising of no. 2 single storey side extensions, pitched roof garage extension, two storey rear pitched roof extension, glazed veranda together with internal amendments.

A planning application (**ref: 0/50020**) was submitted by the Client to Conwy County Borough Council, hereafter 'the Council', on 9<sup>th</sup> September 2022 but is awaiting determination. The Development Management Archaeologist (DMA) at the Clwyd Powys Archaeological Trust (CPAT), in their capacity as advisors to the Council, recommended the following condition concerning archaeology and heritage be applied to any forthcoming permission:

*No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.*

*The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 BRP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670). After approval by the Local Planning Authority, a copy of the resulting report should also be sent to the Historic Environment Record Officer, Clwyd-Powys Archaeological Trust for inclusion in the regional Historic Environment Record and a copy of the report and whole project archive should also be sent to the National Monuments Record, RCAHMW*

*Reason: To allow an adequate analytical record of the building to be made, before conversion, to ensure that the buildings origins, use and development are understood and the main features, character and state of preservation are recorded.*

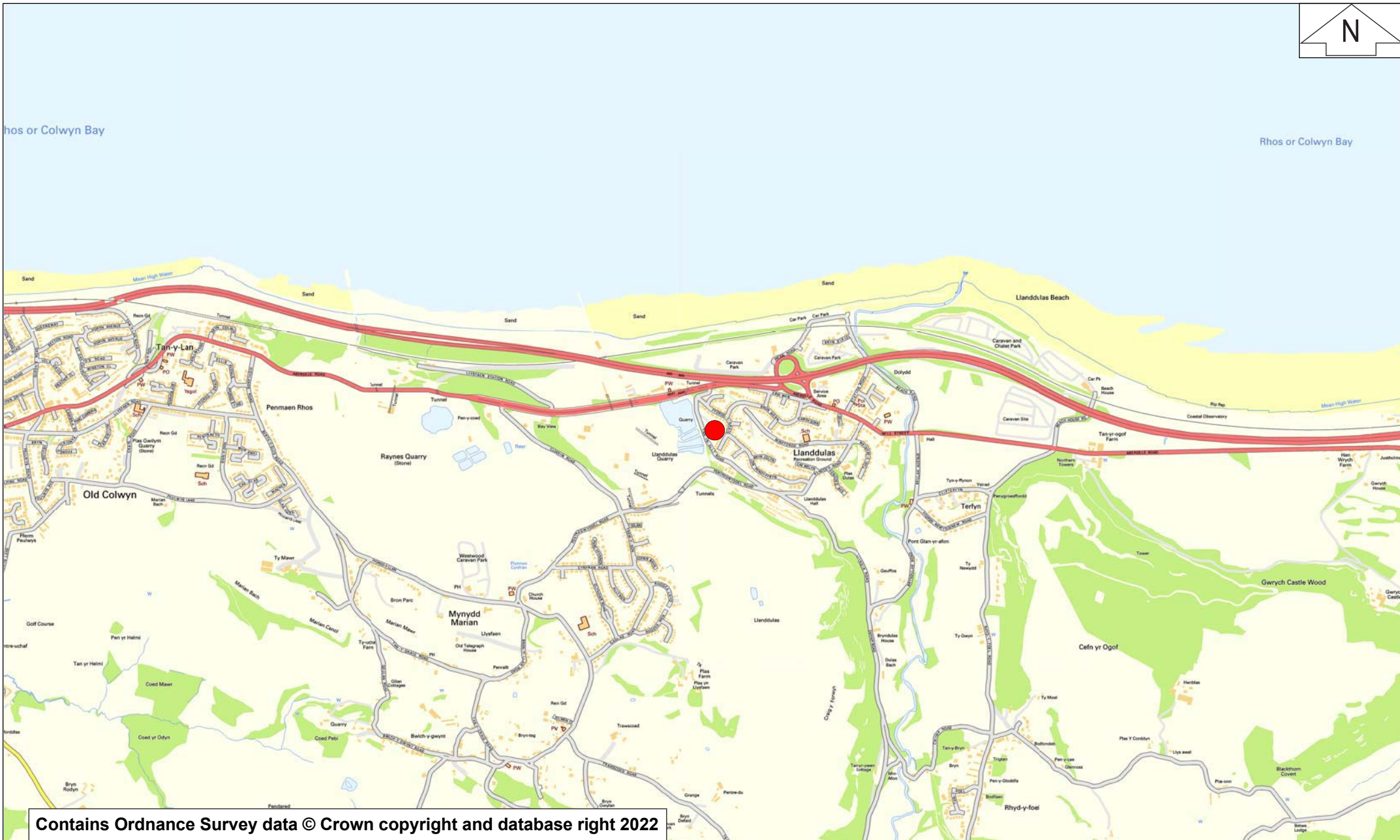
This design and all subsequent mitigation will conform to the guidelines specified in Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2020).



The DMA at CPAT also made the following consultee comments regarding the proposed development:

*Tan-yr-AIIt Hall is shown on the 1st edition Ordnance Survey mapping of the area with an enlarged footprint compared to its modern one. A range of buildings can be seen aligned east-west from the northern part of the structure, which may be represented by the wall marked to be demolished in the plans available. To the south of the modern building there is also an extension visible on the early mapping, which has been removed during the second half of the 20th century. This extension will also need an archaeological watching brief, with the early mapping showing potential for sub-surface archaeology relating to the earlier phases of the Halls' existence, which may include walls, cellars or other artefacts relating to the site.*

*It is understood from the photographs supplied that work has already started on the building and although the proposals appear relatively sympathetic, the extensions will inevitably remove some elements of the building's original fabric. It would be useful to obtain a record of the structure in its present form prior to conversion commencing to ensure that the buildings origins, use and development are understood, and the main features, character and state of preservation are recorded.*

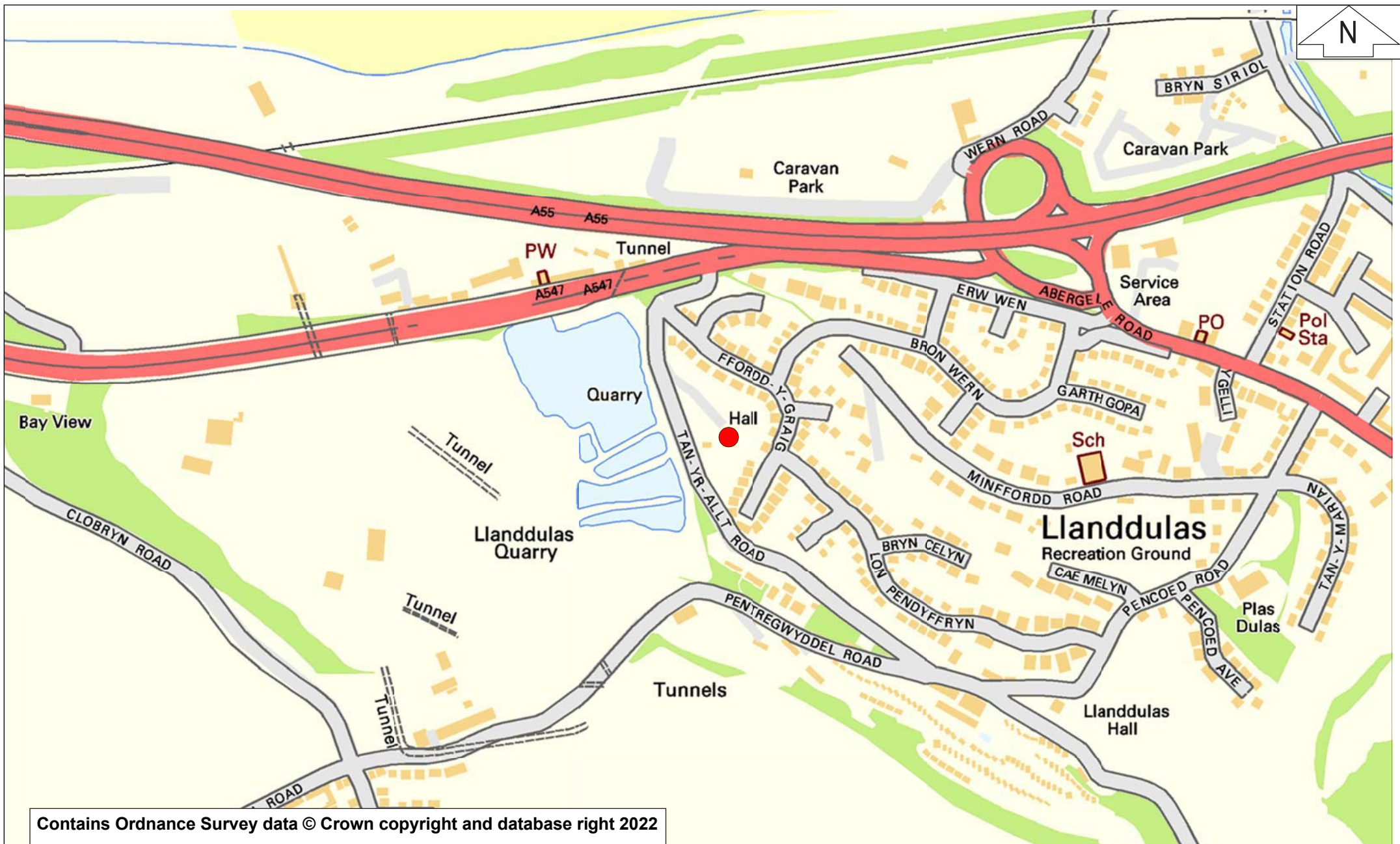


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**Figure 01:** Location of Tanrallt Hall, Abergelle Road, Llanddulas, Abergelle LL22 8HR.  
Scale 1:20,000 at A4.



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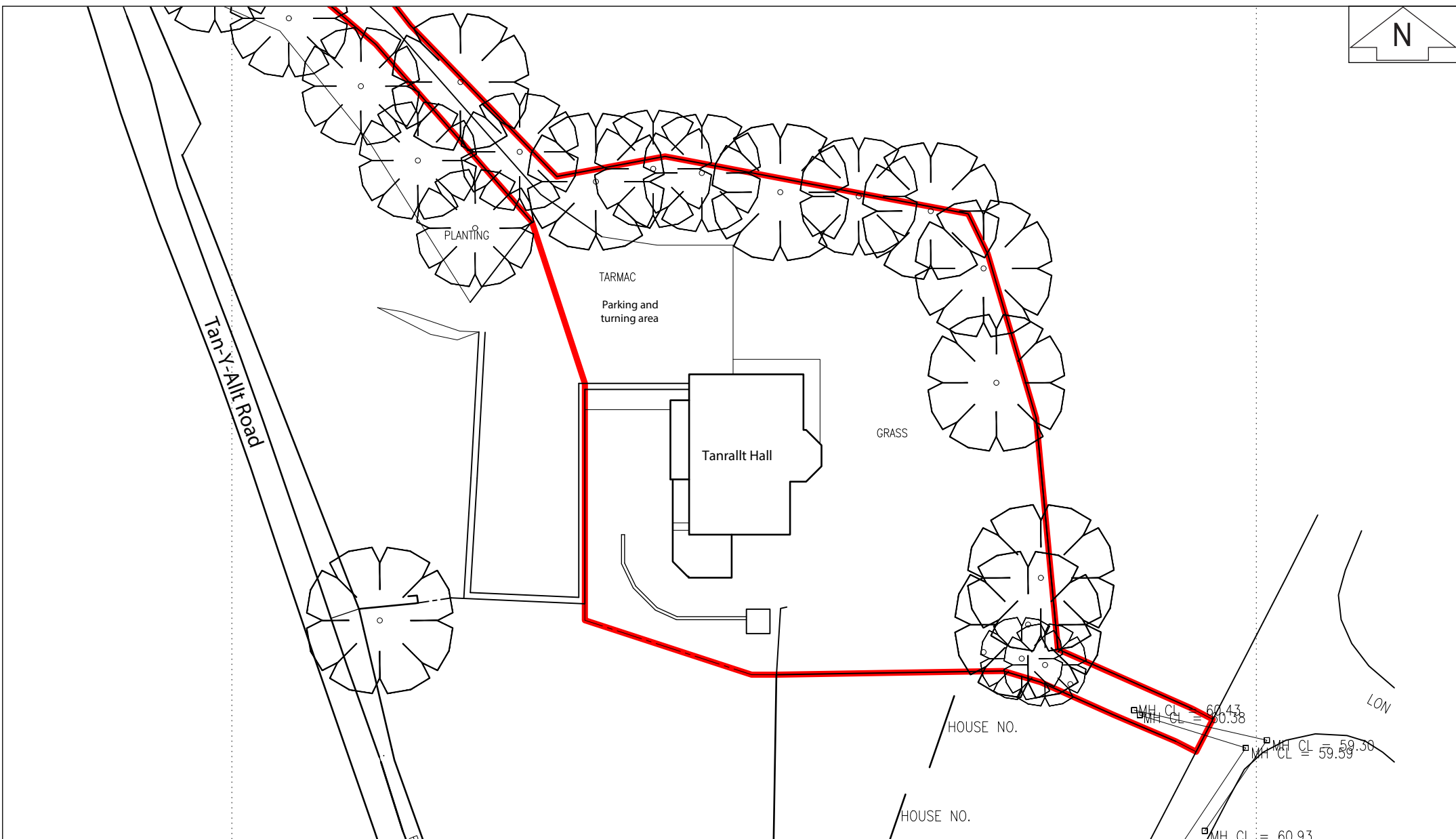


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**Figure 02:** Location of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.  
Scale 1:5,000 at A4.

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**Figure 03:** Location of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.  
Scale 1:500 at A4.

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## 2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO *Convention Concerning the Protection of World Cultural and Natural Heritage*<sup>1</sup> and the *European Convention on the Protection of the Archaeological Heritage*<sup>2</sup>, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the *Planning (Conservation Areas and Listed Buildings) Act*<sup>3</sup> 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

*“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))*

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the *Town and Country Planning 1995*.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

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<sup>1</sup> UNESCO, 1972, *Convention Concerning the Protection of the World Cultural and Natural Heritage*

<sup>2</sup> Council of Europe, 1992, *European Convention on the Protection of the Archaeological Heritage*

<sup>3</sup> Great Britain. *Planning (Conservation Areas and Listed Buildings) Act*. Elizabeth II.(1990), London: The Stationery Office

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.5.5 concerns planning applications:

*The conservation of archaeological remains is a material consideration in determining a planning application, whether those remains are a scheduled monument or not. Where nationally important archaeological remains, whether scheduled or not, and their settings are likely to be affected by proposed development, there should be a presumption in favour of their physical protection in situ. It will only be in exceptional circumstances that planning permission will be granted if development would result in an adverse impact on a scheduled monument (or an archaeological site shown to be of national importance) or has a significantly damaging effect upon its setting. In cases involving less significant archaeological remains, local planning authorities will need to weigh the relative importance of the archaeological remains and their settings against other factors, including the need for the proposed development.*

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

### 3.0 SPECIFICATION AND PROJECT DESIGN

The requirements were for an archaeological building record of Tanrallt Hall, Abergele Road, Llanddulas, Abergele prior to alteration, however should observations or desk-based research have suggested the potential for significant features to be encountered during the renovation and site clearance/ground work, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DMA at CPAT had requested that this building record should be roughly commensurate with the Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

Both the exterior and the interior were be viewed, described and photographed. This record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based.

The detailed photographic record will consist of Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) elements:

written account: 1-3, 6

drawings: sometimes 1, sometimes one or more of 2-7

photographs: 1,2,4

## **4.0 METHOD STATEMENT**

### **4.1 Level 2 Record**

#### **4.1.1 Written Account**

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy will be included.

#### **4.1.2 Photographs**

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

#### **4.1.3 Drawings**

The drawn record will include:

- A site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

### **4.2 Processing data, illustration, report and archiving**

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.



## 5.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

A draft copy of the report will be produced within six weeks of the completion of the fieldwork and will include an updated Data Management Plan (DMP) and an archive content list. A copy of the report will be sent to the Client and the DMA at CPAT for comment prior to finalisation of the report and dissemination. Digital copies of the report and archive will be sent to the regional HER and the DMA at CPAT, with the original paper and digital archive being deposited with the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW) for long term archiving. Furthermore, a summary of the project will be sent to *Archaeology in Wales* for publication.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2018 updated 2022) including the translation of a non-technical summary into the medium of Welsh.

## 6.0 DIGITAL DATA MANAGEMENT PLAN

### 6.1 Type of study

A level 2 historic building record of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR (centred on **NGR SH 90153 78153**) in advance of alterations and extensions comprising of no. 2 single storey side extensions, pitched roof garage extension, two storey rear pitched roof extension, glazed veranda together with internal amendments.

### 6.2 Types of data

File name	File Contents	Linked File(s)	Number of files
A0389.1 Tanrallt Hall, Llanddulas lv2 JD 1.0.PDF	PDF report		1
A0389_1_001 - A0389_1_091.JPG	JPEG site images	A0389.1_Metadata	91
A0389_1_001 - A0389_1_091.TIF	TIF site images	A0389.1_Metadata	91
A0389.1_Metadata.XLSX	Excel file of photographic metadata	A0389_1_001 - A0389_1_091 (JPEG and TIF)	1
Digital Proformae (Descriptions, .TXT)	1 x text documents		1

All data generated during this project has been selected for archive.

### 6.3 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

Written descriptions taken in digital *.txt* format and sent via email to ensure a digital backup copy at time of record.

### 6.4 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

*3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.*

*3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate*

## **6.5 Data quality and standards**

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

## **6.6 Managing, storing and curating data.**

All digital data will be organised into Aeon Archaeology proforma project file systems and backed up to the cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

## **6.7 Metadata standards and data documentation**

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

## **6.8 Data preservation strategy and standards**

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of digital (.PDF) reports and the original and digital scanned archive to the RCAHMW; and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to Acronis Cyber Protect.

## **6.9 Suitability for sharing**

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

## **6.10 Discovery by potential users of the research data**

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology ([info@aeonarchaeology.co.uk](mailto:info@aeonarchaeology.co.uk)).

## **6.11 Governance of access**

The decision to supply research data to potential new users will be via the associated website request (RCAHMW, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

## **6.12 The study team's exclusive use of the data**

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on

simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

### **6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions**

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

### **6.14 Regulation of responsibilities of users**

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

### **6.15 Responsibilities**

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCifA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

### **6.16 Organisational policies on data sharing and data security**

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2019
- Aeon Archaeology Quality Assurance Policy 2019
- Aeon Archaeology Conflict of Interest Policy 2019
- Aeon Archaeology Outreach Policy 2019
- Aeon Archaeology Digital Management Plan 2020

## 7.0 ARCHAEOLOGICAL AND HISTORICAL RECORD

The DMA at CPAT made the following consultee comments regarding the historic significance of Tanrallt Hall:

*Tan-yr-Allt Hall is shown on the 1st edition Ordnance Survey mapping of the area with an enlarged footprint compared to its modern one. A range of buildings can be seen aligned east-west from the northern part of the structure, which may be represented by the wall marked to be demolished in the plans available. To the south of the modern building there is also an extension visible on the early mapping, which has been removed during the second half of the 20th century. This extension will also need an archaeological watching brief, with the early mapping showing potential for sub-surface archaeology relating to the earlier phases of the Halls' existence, which may include walls, cellars or other artefacts relating to the site.*

### 7.1 Overview

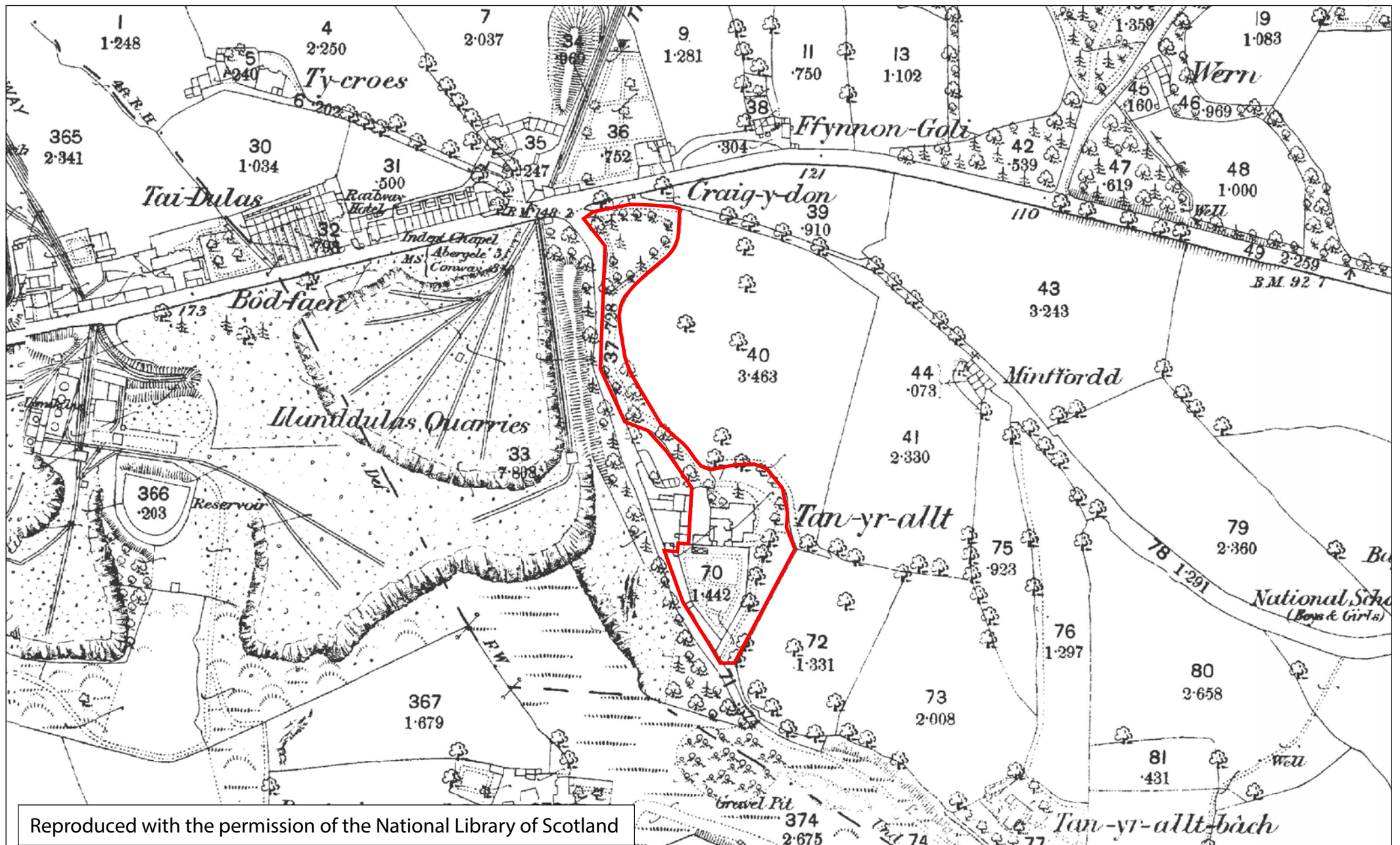
*NB. in the following discussions Tanrallt Hall will be referred to as Tan-yr-Allt Hall as this is how it appears on historic mapping.*

*Tan-yr-Allt Hall is situated on the western margin of the settlement of Llanddulas and within 65m of the eastern face of Llanddulas Quarry. It lies approximately 3.20km east of Colwyn Bay and 4.44km west of Abergele in Conwy County Borough. Furthermore, it is 0.20km south of the A55 and is accessed from Abergele Road via Tan-yr Allt road, when turning onto Fordd-y-Graig there is a narrow driveway to the south, a view of this original approach from some time in the early 20<sup>th</sup> century can be seen in *plate C*. This driveway affords an approach uphill to the hall with the estate wall flanking the drive to the southwest. This building is not statutorily listed and there is no Listed Building Reference for this property, nor is there an *National Primary Reference Number* (NPRN) on the RCAHMW Coflein Website. In addition there is no *Primary Reference Number* (PRN) number which exists on the *Archwilio* website database.*

### 7.2 Map Regression

The 1839 tithe map - *A Map of the Parish of Llandulas in the County of Denbigh* and its associated apportionment records, state that the plot number allocated to the Hall is 189; *Tanyrallt*, and this is more specifically described as a *House, Yard & Garden*. The landowner at this time was *John Jones Esq.* (likely of the Jones-Bateman family of Pentre Mawr, Abergele) and the occupier of the plot is noted as *Self*. The map itself is lacking in detail as it shows the north western wing but not the southern wing – a presumed driveway can be seen to extend around to the southeast.

The first three editions of the 25-inch Ordnance Survey map (OS Map) show broadly similar detail, with some changes to the layout around the Hall. The first edition (1875-76) 25-inch OS map shows the Hall with a north western wing which connects with the stable yard wall to the west. There is also a southern wing which extends toward the southern formal gardens which appear in some detail - depicting pathways surrounded by square and trapezoidal beds. To the north and east there appears to be a sweeping driveway which is bounded to the north and east by trees - this driveway then appears to climb to the south beyond the gardens and exits onto Tan-yr-Allt road. It is possible that the original entrance to the building was via the eastern elevation of the now demolished southern wing. The eastern elevation of the building appears to retain a bay window - as evidenced by a small centralised detail on the OS Map. To the southwest of the Hall there appears to be a courtyard which had a configuration of small outbuildings to the west and southeast - presumably greenhouses and/or stores. To the

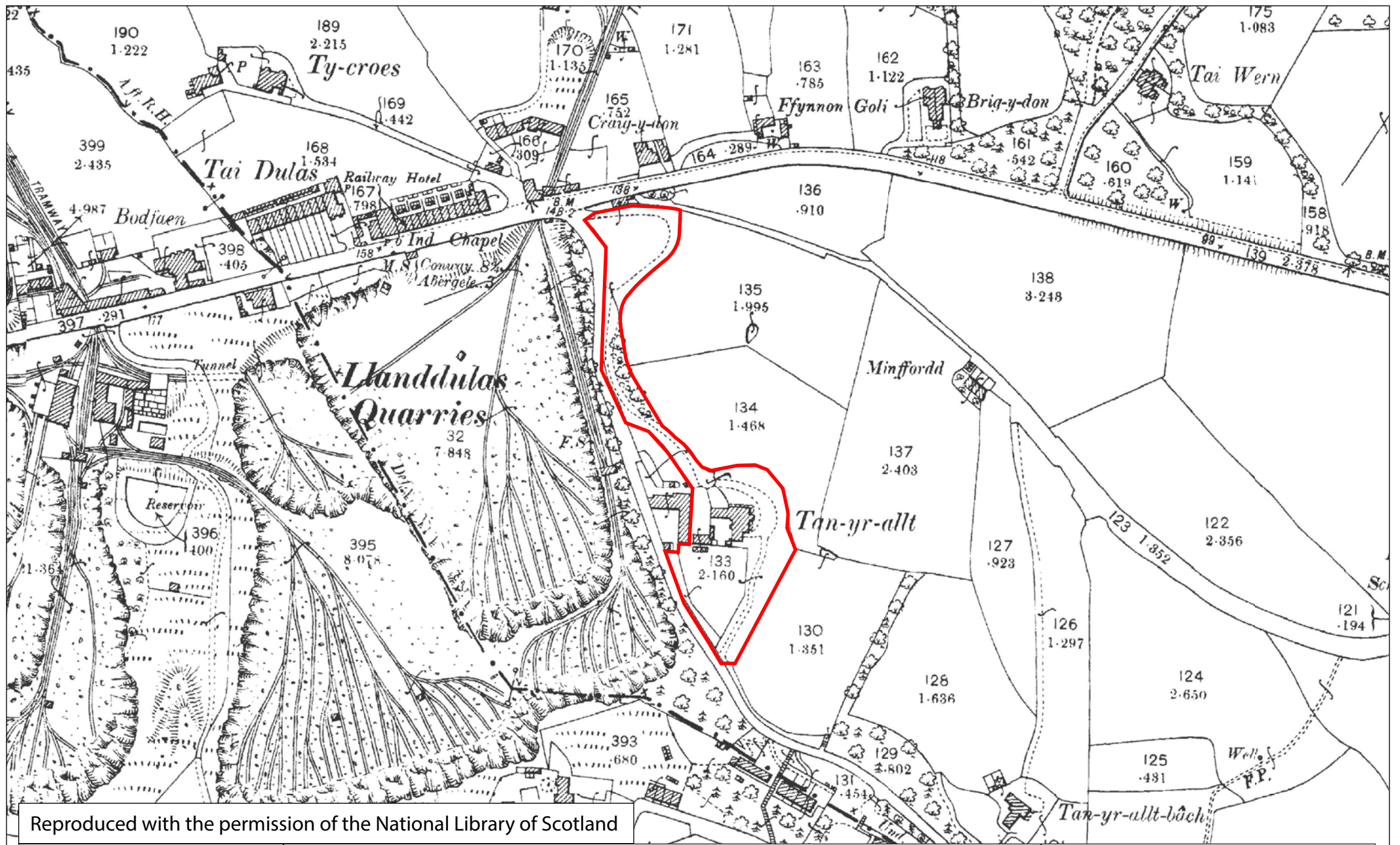


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**Figure 04:** The first edition (1875-76) 25-inch ordnance survey map, at Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR. No scale.



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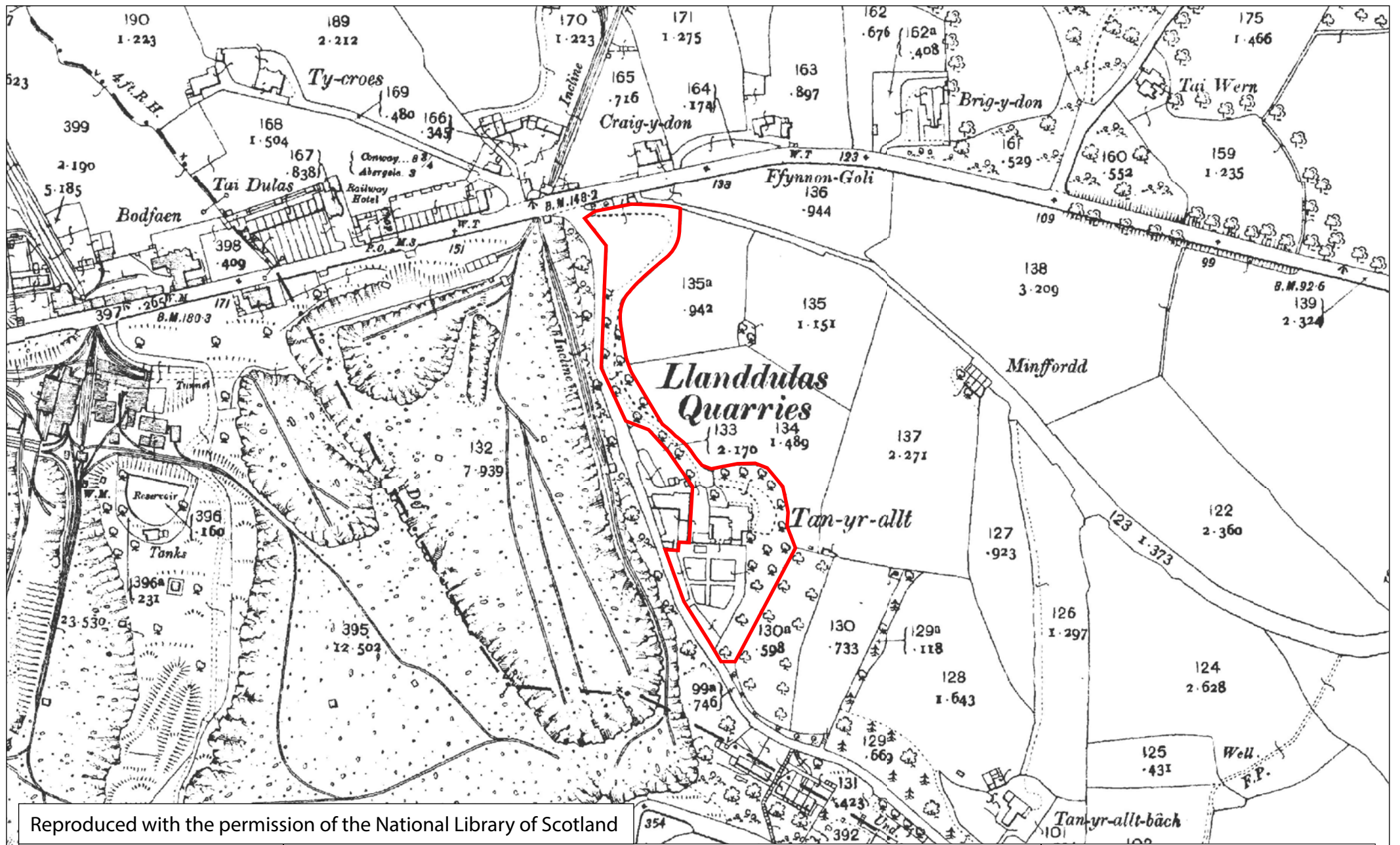


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**Figure 05:** The second edition (1900) 25-inch ordnance survey map, at Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR. No scale.



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**Figure 06:** The third edition (1913) 25-inch ordnance survey map, at Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR. No scale.



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**Plate A:** View of Tan-yr-Allt Hall prior to renovation works, taken by the Client - from the southeast.



**Plate B:** Photograph of Tan-yr-Allt Hall (date unknown) provided by the Client, showing former veranda - from the east.



**Plate C:** Photograph of Tan-yr-Allt Hall driveway entrance (date unknown) provided by the Client, accessed from Abergele Road - from the northwest.

north and east the building looks down across sloping agricultural fields to the shoreline below.

The second edition (1900) 25-inch OS map shows that the north western wing, southern wing, south western courtyard buildings are all still present. The driveway is still present in the same form observed on the first edition, but with less trees depicted on this edition - perhaps suggesting these have been removed. Furthermore, a dashed line is seen as a perimeter around the northern and eastern walls which may denote a pathway or veranda. The detail on the southern garden is lacking but this may be an omission.

The third edition (1913) 25-inch OS map shows once more, that the north western wing, southern wing, south western courtyard buildings are all still present. However, although the driveway is still present to the north and east it appears to be gone by this edition, as it would have formerly climbed the hill towards Tan-yr-Allt road. The detail has returned to the southern garden demonstrating a cross-paths design forming a bed in each quadrant.

#### *John Jones Bateman, Pentre-Mawr*

John Jones (1784-1849) was the son of Rowland Jones of Pentre Mawr, Abergele. It would seem John Jones inherited Tan-yr-Allt Hall as part of the family estate. John apprenticed to a solicitor in London, and he attended Lincoln's Inn for a time, although he does not seem to have been called to the bar. He eventually became the senior partner in the solicitor's practice of Jones, Bateman, Bennett and Field, who occupied chambers in Lincoln's Inn Fields and acted for clients including the Earl of Thanet. He married, in 1824, Marianne Burleton (1799-1874), who had some reputation as an amateur artist, and over the next seven years they had three sons and three daughters, all of whom survived to adulthood. Around 1830, he rebuilt or remodelled the house at Pentre Mawr, Abergele as a small neo-Tudor mansion, which the family used as a holiday home. In 1834, for reasons which are unclear but which must be connected with his legal practice, John sought royal licence to add the name Bateman to his patronymic, and he and his descendants were subsequently known as Jones-Bateman (Landed Families of Britain and Ireland, 2021).

### **7.3 Discussion**

The building of *Tan-yr-Allt Hall* is heavily reminiscent of some of the medium sized Welsh houses designed by John Nash. Nash was one of the most important British architects of the Georgian and Regency periods and is perhaps best known for Marble Arch, Clarence House and the state rooms and Western Front of Buckingham Palace in London. Nash is known for his work in South Wales but that is not to say that he did not influence other architects in the North of the country (Suggett 1995). Of particular interest to *Tan-yr-Allt Hall* are some of his most important developments with regards to a series of medium-sized country houses, which developed from the villa designs of his teacher Sir Robert Taylor. Most of these houses consist of a roughly square plan with a small entrance hall and a staircase offset in the middle to one side, around which are placed the main rooms of the ground floor. There are often less prominent servants' quarters situated in a wing attached to one side of the villa. The buildings are usually only two floors in height and the elevations of the main block are usually symmetrical as with *Tan-yr-Allt Hall*. For example in comparison Llanerchaeron, Ceredigion is of a similar design to *Tan-yr-Allt* but with a slightly different arrangement for the ground floor rooms with a staircase located to the northeast and possessing of a traditional mansard roof (RCAHMW 2011). However, this alteration of design illustrates how Nash's original design could be adapted to provide a variety of internal layouts.

*Tan-yr-Allt Hall* is therefore equivalent to an asymmetrical, double-pile house design. This traditionally consists of two equally sized ranges backing onto each other, forming a central valley where a centralised corridor and staircase could be situated (Smith 1988), allowing

access to all rooms from a centralised area. However, at *Tan-yr-Allt* it appears as if the staircase may have been relocated within the house as demonstrated by the blocked-up doorways on the landing, which are positioned on a level above the half-turned staircase. The double-pile house design became increasingly popular with the richer gentry after the restoration (Smith 1988). However this design appears to be a later Georgian/Regency experiment of sorts, with the asymmetrical positioning of the southern and western wings being joined onto a perpendicular single gabled construction in the centre (Yorke 2007). This has formed a network of valleys which have collected rainwater and necessitated for the building to be re-roofed.

The principal elevation for the building is elusive, the presence of a canted bay window on the eastern elevation is a candidate - such windows are synonymous with the Victorian period (although bay windows have been included in housing design since the 15th - 18th centuries), potentially the bay window is a later addition which may have necessitated moving the internal staircase from the east of the hallway to the west end. The masonry appears inconclusive as the joint of the bay window into the original elevation is either of a high calibre as seen elsewhere on the property or it was an original feature. The other candidate is the northern elevation, however there does not appear to be any formal entrance here and the historic mapping show that is largely bypassed by the driveway.

Therefore, it is surmised that the traditional principal elevation or former main entrance to the building is not represented by one of the surviving elevations. Rather it was the eastern elevation of the former southern wing which probably acted as the reception for the building. This is following an examination of historic mapping which demonstrates a driveway swinging around the building's northern and southern elevations before presenting to the southeast. In addition a former blocked up doorway on the southern elevation at first floor level insinuates that the main stairwell was likely housed within this now demolished southern wing.

As has been alluded to earlier, this is likely an example of a small residence for a gentleman, showing a typical Georgian/Regency room lay-out (Yorke 2007). Exhibiting certain common traits: central staircase and hall with rooms leading off, bedrooms leading off the landing and a simple four-room storey (Farringford Estate, 2022). The former north-western service wing would have been positioned to provide access to the kitchens on the ground floor and likely had a separate staircase providing access to the first floor – as evidenced by the blocked-up doorway and beam slots, visible at first floor level on the western elevation of *Tan-yr-Allt* Hall.

## 8.0 BUILDING DESCRIPTIONS

### Tanrallt Hall (Tan-yr-Allt), Llanddulas

(see figures 04-10; plates 01-46, A-C)

#### 8.1 External Descriptions

(See plates 01 – 13, figure 07)

##### *General description*

This is an example of an asymmetric, double-pile house when viewed in plan. When viewed from the northern elevation it is separated into three bays via three double pitched roofs (two and a half gables) which run north to south forming two valleys; when viewed from the south the building has an 'M' shaped roof; from the east the building has a double-dormer roof construction and from the west it is of a single centralised dormer construction. At the time of the survey the roof is being replaced with modern slate. All of the elevations are of exposed, coursed, stone rubble bonded by lime mortar. Curiously, none of these elevation present as the principal elevation – this may be due its former position having been occupied within the eastern elevation of a former southern wing (see **Section 7.0** for discussion) now demolished.

##### *Northern elevation*

This is divided into three bays via three gables; the central one being smaller (both lower and narrower) and the flanking gables being larger and sharing identical proportions). Each of these gables have three equally spaced, single pane fixed, lancet windows in white painted wooden frames, with white painted stone sills. Beneath this arrangement at first floor level there are three equally spaced, four pane, casement windows in white painted wooden frames with white painted stone sills beneath, these windows have had their lintels replaced with concrete. These windows also have brick detail surrounds.

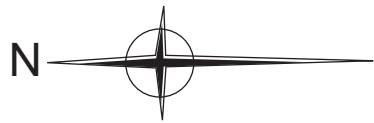
At ground floor level a centralised doorway opening is flanked by two, equally spaced, two pane, casement windows in white painted wooden frames. The centralised doorway has been replaced with a two-pane, fixed window, with white painted wooden frame with a single transom window above. Both windows and the doorway openings have redbrick detail surrounds. The doorway and the right-hand window have wooden lintels, whilst the left window has had its lintel replaced by concrete.

The ordnance survey map evidence (OS Map) would suggest that the left-hand side of the northern elevation once formed a western wing which formerly connected with the stable wall, however this has now been demolished - there is evidence of a wall seam within the western elevation (see below).

##### *Western Elevation*

Within the centre of the elevation a portion of the masonry, in an area extending from ground floor to the eaves has been demolished. At first floor height there are four equally spaced window openings which are modern inserts. There is evidence to the right of centre on the elevation that there was an original window opening but this has been blocked up with breezeblock.

To the left of centre between the ground floor and first floor there is a blocked-up doorway opening with wooden lintel (blocked up with stone rubble bonded by lime mortar infill). Immediately below this blocked-up doorway a series of former horizontal beam slots is visible on the wall, representing a former first floor level within the now demolished north-western wing.



9

Former Eastern Elevation  
Lawns

8

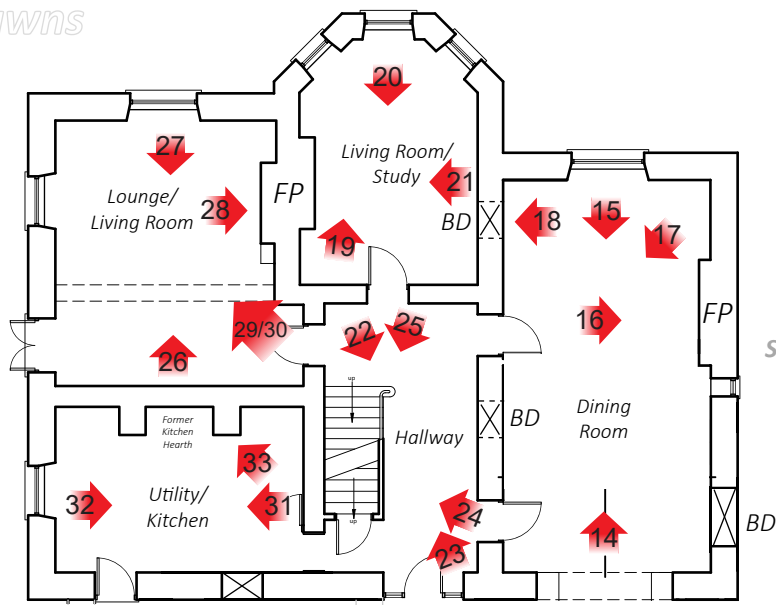
7

1

Northern Elevation

10

Principal Approach



Southern Elevation

6

Raised Former Formal Gardens

2

3

4

5

Former Wing

Former Courtyard



13

12

**Tanrallt Hall**  
Western Elevation

Stable Yard

**Key**

-  External Photograph
-  Internal Photograph
- FP Fireplace
- BD Blocked Door



**Figure 07:** Ground floor plan showing locations of photographic plates, at Tanrallt Hall, Abergele Road, Llanddulas, Abergele, LL22 8HR. Scale 1:250 at A4.

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**Plate 01:** Principal, north facing elevation of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - 2.00m scale

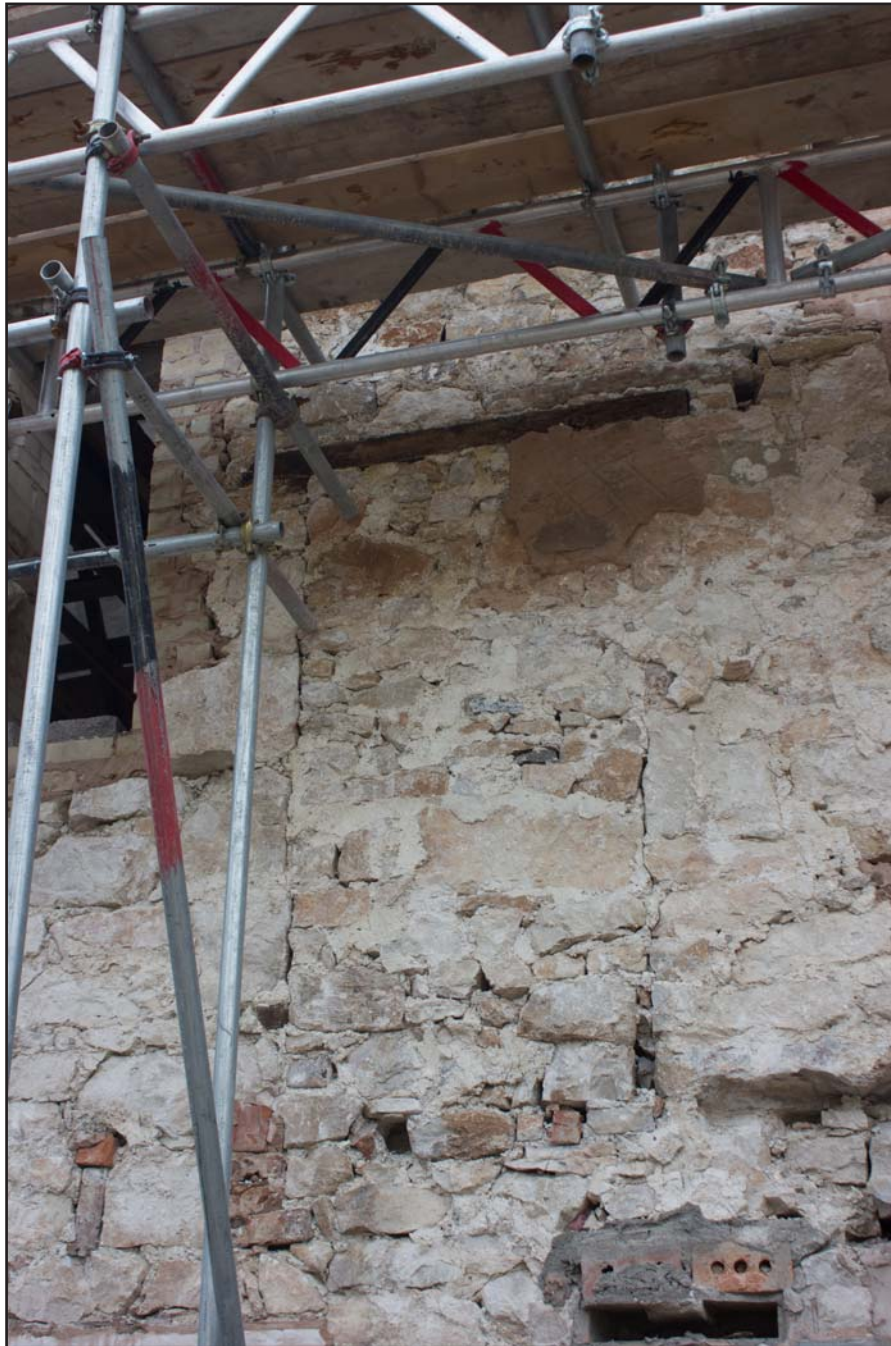




**Plate 02:** Oblique shot of northern & western elevations of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - 2.00m scale



**Plate 03:** Western elevation of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - 2.00m scale



**Plate 04:** Blocked first floor doorway within western elevation of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the west - no scale



**Plate 05:** Oblique shot of western & southern elevations of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 2.00m scale



**Plate 06:** Southern elevation of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the south - 2.00m scale



**Plate 07:** Oblique shot of southern & eastern elevations of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southeast - 2.00m scale



**Plate 08:** Eastern elevation of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - 2.00m scale



**Plate 09:** Oblique shot of eastern & northern elevations of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northeast - 2.00m scale





**Plate 10:** Roof configuration of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - no scale



**Plate 11:** Stable yard wall of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northeast - 2.00m scale



**Plate 12:** Stable yard wall of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 2.00m scale



**Plate 13:** Outline of former buildings on the stable yard wall of Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northeast - no scale



**Plate 14:** Kitchen/Dining Room, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the west - 2.00m scale



**Plate 15:** Kitchen/Dining Room, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - 2.00m scale



**Plate 16:** Kitchen/Dining Room, fireplace, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - 2.00m scale



**Plate 17:** Kitchen/Dining Room, oblique shot, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southeast - 2.00m scale





**Plate 18:** Kitchen/Dining Room, blocked door, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southeast - 2.00m scale



**Plate 19:** Living Room/Study, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - 2.00m scale



**Plate 20:** Living Room/Study, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - 2.00m scale



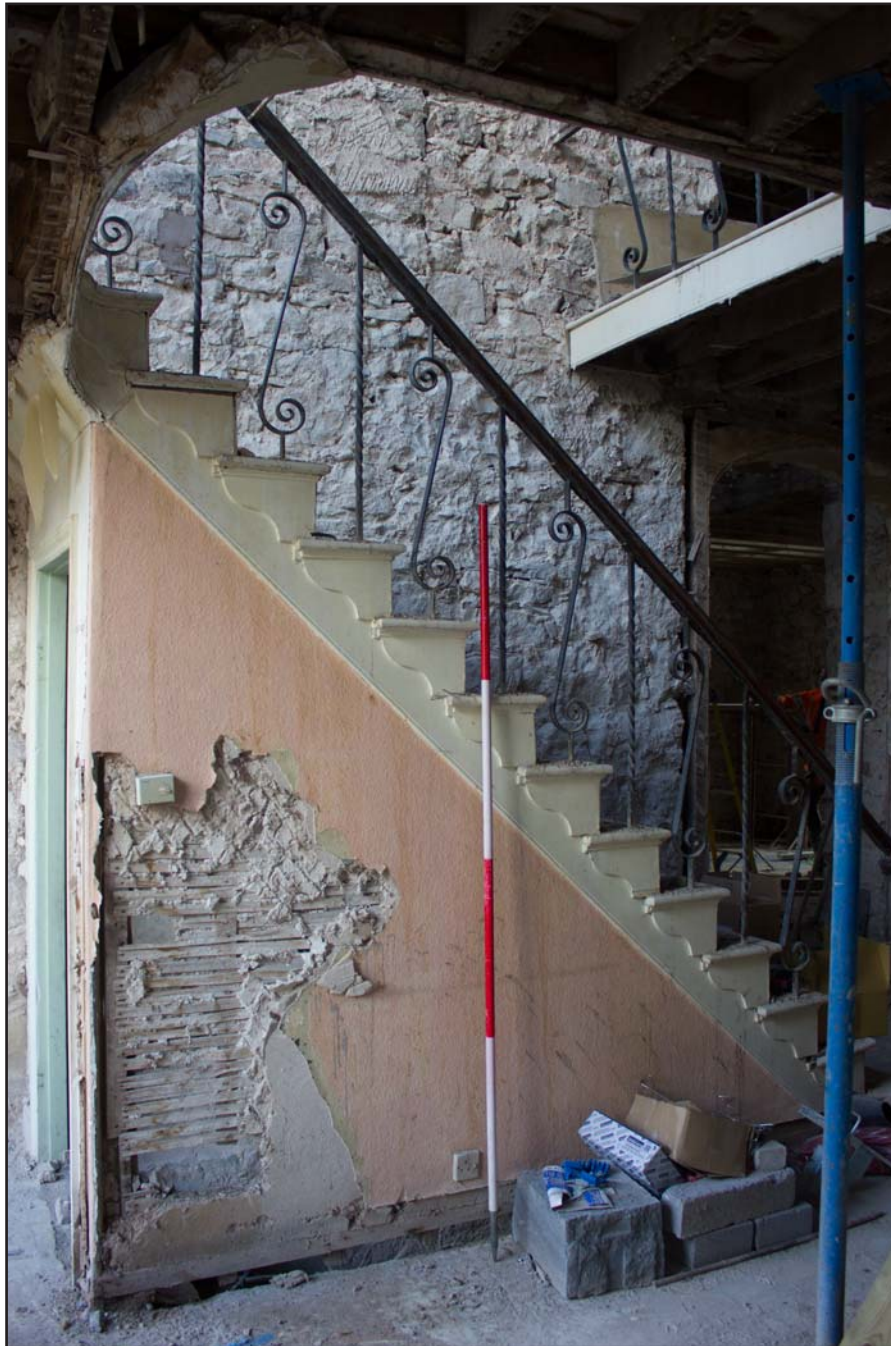
**Plate 21:** Living Room/Study, fireplace, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the south - 2.00m scale



**Plate 22:** Hallway, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northeast - 2.00m scale



**Plate 23:** Hallway, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 2.00m scale



**Plate 24:** Hallway, Stairs, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 2.00m scale



**Plate 25:** Hallway, Stairs, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southeast - 2.00m scale





**Plate 26:** Lounge/Living Room, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the west - 2.00m scale



**Plate 27:** Lounge/Living Room, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - 2.00m scale



**Plate 28:** Lounge/Living Room, fireplace, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - 2.00m scale



**Plate 29:** Lounge/Living Room, handhewn beam, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - no scale



**Plate 30:** Lounge/Living Room, carpenter's marks on handhewn beam, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - no scale



**Plate 31:** Utility/Kitchen, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the south - 2.00m scale



**Plate 32:** Utility/Kitchen, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - 2.00m scale



**Plate 33:** Utility/Kitchen, former kitchen hearth and chimney breast, ground floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - 1.00m scale



Furthermore, located 1.00m from the left-hand end of the elevation a vertical line of projecting stones denotes where the northern wall of the north-western wing was tied into the elevation. This shows that the north-western wing was part of the original design of the hall. According to this evidence and via observation of the OS mapping data it would appear that a courtyard area would have been formed to the south with the stable wall forming the western boundary to this area.

At ground floor level there is an original doorway opening at the left-hand end which has been blocked up with breezeblock and to the right of this there is a newly inserted doorway. At the right-hand end at ground floor level a large opening has been inserted into the elevation.

#### *The Stable Yard Wall*

This elevation consists of a linear structured wall aligned north to south and which measures 21.55m in length and it stands for approximately 5.00 m in height. It is constructed from stone rubble bonded by lime mortar which has been rendered in places and painted white. The top of the wall is sealed by flat coping stones. At the northern end the wall had been built on the same level as the hall, however to the south it climbs with the hill into the area of the former southern gardens.

Visible at the right-hand end of the elevation is the remains of a tied in, perpendicular wall which was once east to west aligned and most likely formed part of the now demolished north-western wing of the Hall. To the immediate left of this a mark within the masonry denotes a former modern lean to that has now been demolished.

Within the centre of the elevation is a set of seven alighting, stone steps leading to a single doorway opening with a black painted wooden frame, radiating stone voussoirs and a cast-iron mid height gate. This permits access to the former stable yard. Presumably this portal provided convenient access to the stable yard from the house following transit of the former south-western courtyard.

To the left of this opening there are some marks on the masonry which denote the former presence of three double pitched roofs likely from now demolished outbuildings. On the OS map data a long, narrow north-south aligned building is shown which could have possibly been greenhouses for the gardens to the south. At the left-hand end the wall pitches upwards forming the gable end of the mono pitched roof of the stable block which is located to the west.

#### *The Southern Elevation*

The southern elevation is divided into two equally sized bays/wings via a twin, double pitched roof with a single valley or an 'M' roof. At first floor height at the left-hand end there is former doorway opening blocked up with breezeblock - which potentially previously provided access from a former staircase which once inhabited the now demolished southern wing.

At ground floor level there is a single doorway opening at the left-hand end permitting access to the kitchen/dining room, now without door and frame. To the left of centre a rectangular window has been blocked up with stone rubble bonded by mortar and a smaller lancet window has been inserted, but which now has also been blocked up with cinder-brick. To the right of this window is a small square aperture which is for sweeping the chimney.

#### *The Eastern Elevation (see plate A – prior renovation)*

This elevation is dominated by a centralised, large projecting window bay. At eaves height there are gable dormer constructions at the left- and right-hand ends, although it is not clear

whether these have been added during the modern roof restoration as modern breezeblock constructions are present above the window.

At first floor height there is a window at the left- and right-hand ends: both of which consist of four pane, casement windows, with white painted stone sills beneath.

Within the projecting bay of the building, there are three equally spaced windows; the central window is a 12-pane sash, with eight pane sash windows to either side on either wall angle of the bay. All three of these windows are in white painted wooden frames with white painted stone sills beneath.

There is a horizontal line of fixing holes along the elevation which are roughly commensurate with the level of the first floor, these indicate something was attached here – probably a former glazed and cast-iron veranda which has now been demolished (*see plate B*).

At ground floor level there are doorway openings at the left- and right-hand end: consisting of French-doors in white painted wooden frames and with transom lights above. Both of these doorways have had their lintels replaced with concrete and the area above them has been refilled with red brick suggesting a change to the window layout which predates the modern works. At ground floor level within the centralised projecting bay there are an arrangement of windows which mirror those seen at first floor level above.

## **8.2 Internal Descriptions**

### **8.3 Ground Floor**

(*See plates 14 – 33, figure 07*)

#### *Kitchen or Former Dining room*

This is a rectangular room, orientated east to west and measuring 12.84m in length by 4.56m in width. The room is set to be the new kitchen for the property but is suspected to have been the original dining room as access to the former kitchen was gained via the north western doorway across the hallway and a now blocked up doorway to the northeast of the room likely once led to a study. The ceiling within the room has been removed revealing an arrangement of replacement, sawn floor joists of various sizes – these are not original and appear to have been reclaimed from various sources. An inserted steel girder at the western end supports these joists. All of the elevations are of exposed stone rubble bonded by lime mortar, which are generally coursed .

The northern elevation has three roughly spaced, door openings, all without frame and door. The left-hand most and right-hand most have been raised in height with modern concrete lintels and modern brick infill, however the door cheeks are of dressed stone – suggestin they are part of the original design. The central door is of a lower height but has been blocked up with modern red brick. At the right-hand end of the elevation there is an original doorway opening which has been blocked up with stone rubble infill, this would have permitted access to the study/living room.

The eastern elevation has a centralised French door, window opening, with each door consisting of four glass panes in white painted, boarded panel frame, above which is a fixed transom window also in white painted wooden frame. These doors are recessed into the elevation with white painted folding shutters.

The southern elevation has a projecting rectangular, chimney breast to the left of centre, now without fire surround and mantle. To the immediate right of this is a small lancet window that appears to be a modern insert and has been blocked up with cinder brick. At the right-hand end is an original doorway opening with hand-hewn wooden lintel, but now without frame and door - this would have permitted access to the exterior of the property.

The western elevation is dominated by a large modern inserted doorway opening with steel girder lintel above. The floor is of modern poured concrete.

#### *Living Room/Former Study*

This is a rectangular room, orientated east to west and measuring 5.41 in length by 3.92m in width. This is likely to have been a study or morning room judging by the floor plans of similar houses from the Georgian/Regency period. Furthermore, the blocked-up doorway leading to the former dining room is an indication that this room may have been retired to following dinner. The ceiling is of exposed wooden timber joists and the floorboards of the floor above. The walls are of exposed stone rubble bonded by lime mortar which is coursed.

The northern elevation has a centralised, projecting, rectangular chimney breast. This has an ornate marble mantelpiece with rolled corbels, in acanthus leaf motif, it has a cast iron fire insert with decorative floral, tile insert and slate hearth. Immediately above and behind the mantelpiece a radiating red brick voussoirs is visible.

The eastern elevation forms a large bay with three equally spaced, eight pane, recessed sash windows in white painted wooden frames, the central window being of twelve panes. All three windows have white painted, wooden shutters.

The southern elevation has a single blocked up doorway on the right of centre, this has been blocked up with stone rubble infill. The western elevation originally had a centralised doorway opening but this has been blocked up with breezeblock and two new doorway openings have been inserted to the left- and right-hand side as denoted by concrete lintels and modern cement brick door jambs. The floor is of modern wooden boards.

#### *The Hall*

This is a rectangular room, orientated east to west and measuring 5.88m in length by 3.88m in width. Following on from the design of similar houses of the period it is likely that this centralised area may have always been part of the design for the house, although it is likely the staircase is not in its original location. The ceiling has been removed and is revealed to the modern sawn, timber floor joists which supports a wooden board floor above. The walls are all of stone rubble bonded by lime mortar.

The northern elevation has a single doorway opening at the left-hand end which permits access to the utility (former kitchen). This doorway appears original but has been heightened by the presence of a concrete lintel. To the immediate right of this are a set of descending stone steps that lead to the basement, above which is the modern superstructure of the staircase. This staircase consists of a half-turned stair, with simple wooden treads and risers but with a turned wooden banister with simple metal Newell Post and with alternating turned cast iron, and scrolled iron balusters. At the right-hand end of the elevation there is a double doorway opening permitting access to the lounge, but now without doors. There is a reused oak lintel above with five equally spaced stops and an arched wooden frame below.

The eastern elevation originally had a centralised doorway permitting access to the living room but this has now been blocked up and new doorway openings have been placed to the left and right (as described earlier).

The southern elevation has three equally spaced doorways all of which permit access to the kitchen/dining room. The left-hand the right-hand doors have both been raised and a new concrete lintel added. The central doorway has been blocked up with concrete render, but a sawn oak lintel is still visible. The western elevation has been completely opened up in modern times. The floor consists of light beige linoleum tiles.

### *The Lounge or Morning Room*

This is a rectangular room, orientated east to west and measuring 5.88m in length by 4.83m in width. This room is purported to be the new lounge for the building but may have once been a morning room which could take advantage of the sunrise with views across the lawn to the east. The ceiling has been removed exposing the sawn timber joists supported on a single hand-hewn oak beam running north to south, visible on the bottom and western face are suspected carpenter's marks which take the form of 'V' shapes. The walls are all of exposed stone rubble bonded by lime mortar but which are coursed.

The northern elevation has two equally spaced, recessed window openings. The left-hand aperture is a set of double French doors, both consisting of a single pane window and with a casement two pane, transom window above. The right-hand window is of two fixed glass panes. Both windows have white painted wooden shutters and moulded architrave.

The eastern elevation has a centralised French door, window opening with each door of four glass panes in white painted, boarded panel frame, above which is a fixed transom window also in white painted wooden frame. These doors are recessed into the elevation with white painted folding shutters.

The southern elevation has a projecting, rectangular chimney breast to the left of centre, now without fireplace and surround. At the right-hand end is a large double doorway opening permitting access to the hallway (as described earlier). The western elevation is featureless aside from the fact that has been partly demolished in its upper half. The floor is of modern wooden boards.

### *The Utility or Original Kitchen*

This is a rectangular room, orientated north to south, and measuring 5.46m in length by 3.65m in width. The prominent feature of this room is the now demolished chimney breast and former fireplace which is positioned on the eastern elevation. This construction used to rise up through the roof space (pers. comm), presumably providing fireplaces in the rooms above. The ceiling has been renewed with sawn wooden joists and a black painted steel beam. The walls are all of stone rubble bonded by lime mortar but which are coursed.

The northern elevation has a centralised window opening consisting of a two pane, casement window, with a two-pane fixed transom window above, these are in simple white painted wooden frames, but with a recessed architrave and white painted wooden shutters and windowsill.

The eastern elevation has been partly demolished in its upper half, this consists of a centralised former fireplace that would have originally contained the kitchen hearth, apparently a chimney flue once extended through the ceiling here (pers. comm).

The southern elevation has a single doorway opening at the right-hand end permitting access to the hallway, but now without door and frame. This doorway has been raised in height and has a modern concrete lintel above.

The western elevation has had a modern large doorway opening inserted with concrete lintel. To the right of this is an original single doorway opening as denoted by the timber lintel above - but which has been blocked with breeze blocked – presumably this was the doorway which permitted ground floor access to the north-western servants wing. The floor is of laid York stone slabs.

## 8.4 First Floor

(See plates 34 – 41, figure 08)

The configuration of the upper floor is difficult to ascertain given the removal of floors and partition walls. However, it is likely to conform with the appreciated design of the floor below which is as mentioned earlier in this report a feature of similarly proportioned houses from a similar era, namely: a central staircase, with bedrooms leading off a landing, conforming to a simple four-room storey. Therefore, no attempts have been made to categorise the rooms due to a lack of evidence and they retain their modern designations.

However, some questions remain definitively unanswered: where was the original staircase located? Either at the other end of the hallway or perhaps within the southern rooms? Also given the position of a blocked-up doorway seen on the left-hand side of the external western elevation (first floor), it is likely that access from the servant's quarters was gained via this doorway, if true was there a dedicated servant's corridor? Or was access to the first floor gained via the blocked-up doorway on the left-hand side of the northern elevation of the landing?

### *First Floor Landing*

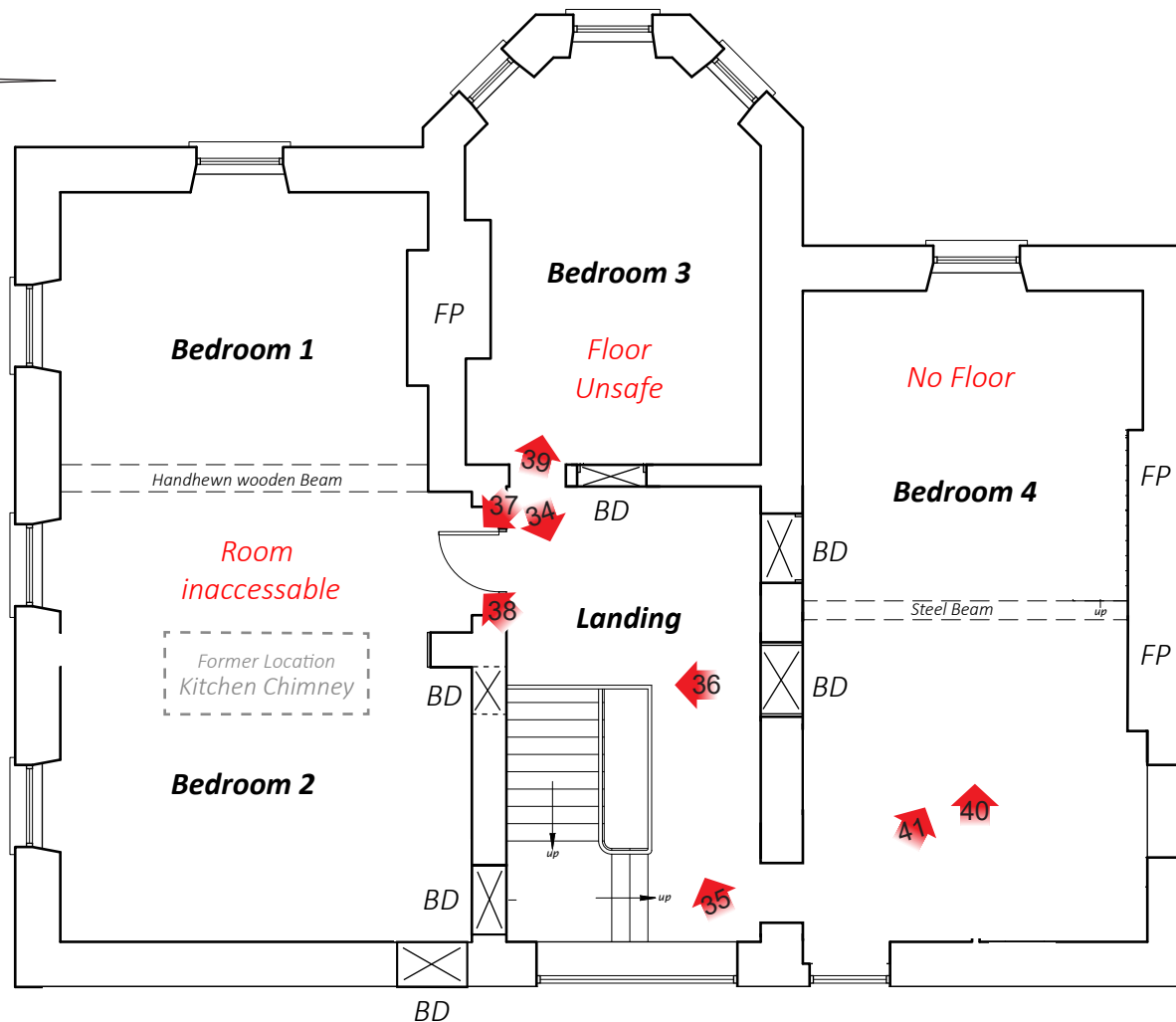
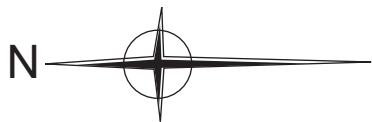
This is a rectangular room, orientated east to west and measuring 5.88m in length by 3.88m in width. Once again, this design largely correlates with the design of similarly proportioned late Georgian/Regency houses with a centralised landing providing access to all of the rooms on the first floor – although the staircase has almost certainly moved judging by the blocked-up doorways on the northern elevation which ‘float’ above the stairwell. The ceiling has been removed revealing the sawn wooden ceiling joists and sawn wooden A-frame truss of the east - west aligned central building within the double-pile design. The walls are all of exposed stone rubble bonded by lime mortar and which are coursed, aside from the eastern elevation which is comprised entirely of red brick and appears to be a later insert - this partition has been physically cut into the stone walls to the north and south.

The northern elevation has a single blocked up doorway opening at the left-hand end which once permitted access into *Bedroom 1* but now floats 1.50m above the half-stair landing – it has been blocked up with breezeblock. In the centre of the elevation a single, original doorway opening has been blocked up with stone rubble bonded by lime mortar and this is denoted by a single timber lintel - this doorway opening is situated at the terminus of the stairway banister which furthermore suggests that the stairwell has been remodelled. At the right-hand end there is a double doorway opening permitting access to *Bedroom 2*, now without door and frame, it does however have a wooden timber lintel with for equally spaced stops suggesting it has been reused. Beneath this is the remnants of a timber framing for an arched door.

The eastern elevation has a centralised former single doorway opening permitted access to *Bedroom 3* but which has been blocked recently. To the immediate left of this a new single doorway opening which has been inserted. The southern elevation has a single doorway opening at the left-hand permitting access to *Bedroom 4*, but no without door and frame. In the centre of the elevation is a single doorway opening which has been blocked up with breezeblock. At the right-hand end is a single door opening which permits access to the former bathroom, now without door and frame. The western elevation has been entirely demolished. The floor is of wooden boards orientated east to west and in the north western corner the descending, half staircase is accessed.

### *Bedroom 1 & 2*

The dividing wall which must once have surely divided the rooms has been removed - forming a large rectangular room, orientated east to west and measuring 10.00m in length by 4.88m in width. This room is inaccessible due to the lack of a floor. The ceiling has been



## First Floor Tanrallt Hall

### Key

 Internal Photograph

*FP* Fireplace

*BD* Blocked Door



**Plate 34:** Landing, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northeast - 2.00m scale



**Plate 35:** Landing, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 2.00m scale





**Plate 36:** Landing, blocked door, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the south - 2.00m scale



**Plate 37:** Bedroom 1/2, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southeast - no scale



**Plate 38:** Bedroom 1/2, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - no scale



**Plate 39:** Bedroom 3, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the east - no scale



**Plate 40:** Bedroom 4, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the west - no scale



**Plate 41:** Bedroom 4, blocked fireplaces, first floor, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - no scale

removed revealing modern timber joists and the roof configuration above – which has now been replaced with a modern slate roof. To the east of centre is a hand-hewn oak beam running north to south and to the west of this a modern steel girder has been inserted on the same alignment. The walls are all of expose stone rubble bonded by lime mortar and which are coursed.

The northern elevation has three equally spaced, recessed windows consisting of two pane casement windows, with two pane transoms above. All within simple white painted wooden frames and with a white painted, moulded architrave surround. All windows have white painted wooden shutters.

The eastern elevation has an identical window centralised. The southern elevation is not visible due to lack of access. The western elevation has two equally spaced common modern inserted window openings, but without frame and window. Presumably the blocked-up former doorway opening is also visible but this was not observed. At the time of survey the floor had been removed and was being renewed.

### *Bedroom 3*

This is a rectangular room, orientated east to west and measuring 5.41 in length by 3.92m in width. This room is not accessible due to an unstable floor affected by water damage. The ceiling has been removed revealing the roof space above which consists of a sawn wooden A-frame truss, with two sawn wooden purlins, supporting sawn wooden rafters and batons. The elevations are all of expose stone rubble bonded by lime mortar.

The northern elevation has a centralised, rectangular, projecting chimney breast, now without fireplace and surround. The eastern elevation forms a bay, with three equally spaced windows (as described in the living room). The southern elevation is featureless. The western elevation has a former centralised doorway opening which has been blocked up with breezeblock and to the right of this a new doorway opening has been inserted - both of which lead to the first-floor landing. The floor is of laid wooden boards running east to west.

### *Bedroom 4 also former bathroom*

The dividing wall has been removed creating one large rectangular room, orientated east to west and measuring 8.65m in length by 4.52m in width. The floor has been removed restricting access. The ceiling has also been removed exposing the roof space, which consists of two, equally spaced, gables and a centralised valley all comprised of timber construction, this is supported in the valley by a red painted steel girder. There are two sawn wooden purlins within each gable, running north to south and supporting sawn wooden rafters and batons. The walls are all of exposed stone rubble bonded by lime mortar.

The northern elevation has three equally spaced doorway openings all of which permit access to the first-floor landing. The central doorway has been blocked up with breezeblock. The eastern elevation has a centralised, recessed window opening consisting of two pane casement window, with two pane transoms above, in a white painted simple wooden frame, with white painted moulded architrave and folding white painted wooden shutters.

The southern elevation is dominated by a wide, centralised projecting chimney breast with two equally spaced fireplace openings now blocked up but with radiating redbrick voussoirs on-end – these likely denote former bedrooms. To the right of this is a blocked up opening which may have been French doors onto the former veranda or former southern wing, although this now is blocked up with breezeblock, also visible is a wooden lintel. The western elevation has had two new modern window openings inserted but without glass and frame.

## **8.5 The Cellar or Basement**

(See plates 42 – 46, figure 09)

### *The Corridor*

This is a long rectangular room, orientated east to west and measuring 6.68m in length (including the ascending steps) by 1.20m in width. The ceiling is of exposed sawn floor joists, with the timber flooring visible above. The walls have all been plastered, and painted white.

The northern elevation is featureless aside from a low doorway opening permitting access to the store/preparation room. The eastern elevation forms an opening, leading through to the pantry area.

The southern elevation is featureless aside from at the left-hand side where a pillar extends outwards into the corridor this has been plastered and painted white. The western elevation forms a set of alighting, stone steps permitting access to the first-floor level. The floor is of York stone.

### *The Store or Preparation area*

This is a rectangular room, orientated north-south and measuring 4.80m in length by 3.52m in width. The ceiling is of the exposed wooden joists and the wooden floorboards of the floor above. The walls are all rendered and painted white.

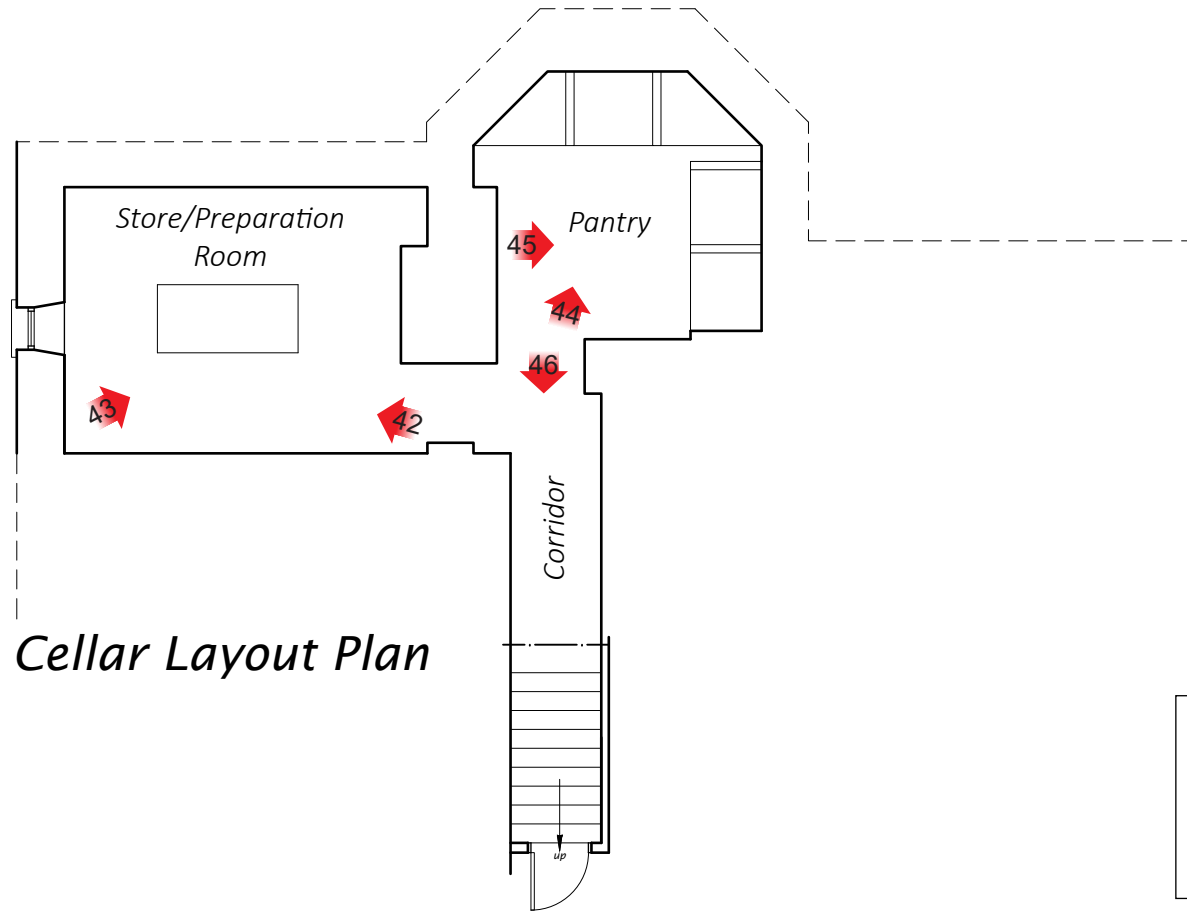
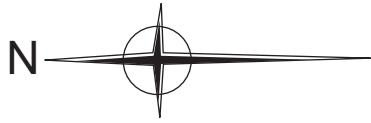
The northern elevation has a single centralised recessed window but which has been boarded up. The eastern elevation is featureless. The southern elevation has the base foundation of the projecting chimney breast in the room above and to the right of this is a single doorway opening permitting access to the basement corridor. The western elevation is featureless. In the centre of the room is a rectangular stone built work surface with two stone slabs forming a tabletop - directly above this work surface there is a fixed timber beam supported by two timbers upright, feasibly this once acted as a stay/frame for a cheese press but could just as likely be a cold store with crude floor supports. The floor is of laid York stone slabs.

### *The Pantry*

This is a roughly square room, measuring 3.80m in length by 3.50m in width. The ceiling is of exposed sawn timber joists between which is lath and plaster which has been painted white. The northern and western elevation have been rendered and painted white and the eastern and southern elevations are of exposed brick which have been painted white.

The northern elevation is featureless. The eastern elevation has brick built, projecting, cold stores/shelving which continue onto the southern elevation and amount to 8 cold store compartments - with slate shelves. The western elevation has a single doorway opening at the right-hand end permitting access to the basement corridor. The floor is of laid York stone slab.





**Key**

 Internal Photograph



**Figure 09:** Basement floor plan showing locations of photographic plates, at Tanrallt Hall, Abergele Road, Llanddulas, Abergele, LL22 8HR. Scale 1:100 at A4.

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**Plate 42:** Store/preparation room, basement, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the southwest - 1.00m scale



**Plate 43:** Store/preparation room, basement, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - 1.00m scale



**Plate 44:** Pantry, basement, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the northwest - 1.00m scale



**Plate 45:** Pantry shelves, basement, Tanrallt Hall, Abergele Road, Llanddulas, Abergele - from the north - 1.00m scale



**Plate 46:** Corridor, basement, Tanrallt Hall, Abergele Road, Llanddulas, Abergele -  
from the east - 1.00m scale



Front Elevation  
**Northern**



Side Elevation  
**Western**



Rear Elevation  
**Southern**



Side Elevation  
**Eastern**

Elevation Plans reproduced kind permission of Matishok & Ross Architectural Services



**Figure 10:** Elevation plan of elevations or building prior to renovation works at Tanrallt Hall, Abergele Road, Llanddulas, Abergele, LL22 8HR. Scale 1:100 at A4.

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## 9.0 CONCLUSION

The building of Tan-yr-Allt Hall and its former wings, associated outbuildings and grounds are visible on the first edition 25-inch OS Map (1875-76) and this configuration remains largely unchanged on the subsequent two versions of the 25-inch OS map. The exact date of the building is uncertain but it predates the title map (1839) as it appears there. This suggests it was likely constructed in the late Georgian or Regency period – judging by its design. The title apportionment notes that it belonged to *John Jones Esq.* and was therefore part of the Jones-Bateman Estate. This estate is recognised as having been based in Pentre Mawr, Abergele since the early 18<sup>th</sup> century.

The Regency period extended from 1811 to 1820 and the era's title comes from the time when Prince George IV was ruling in the place of his father, King George III – however it is widely accepted that the fashions and stylistic choices of the Regency began in 1795 and continued to 1837. The *Regency* style, in architectural terms, was based on a much freer and eclectic interpretation of the architectural principles of proportion and order, when compared with the more formulaic and earlier *Palladian* style. It became possible for architects in the Regency to incorporate aspects of other architectural styles such as we see at Tan-yr-Allt Hall. The hall appears to conform to the general principles developed by the famous architect John Nash, namely his approach to designing medium-sized country houses for the country gentry – although it cannot be attributed directly to him.

Houses designed in such a way tended to consist of a roughly square plan with a small entrance hall and a staircase offset in the middle to one side, around which were placed the main rooms of the ground floor – this design was repeated on the first floor. There were often less prominent servants' quarters situated in a wing attached to one side of the villa. Such buildings were usually comprising of only two floors in height as can be seen at *Tan-yr-Allt Hall*.

*Tan-yr-Allt Hall* is a not a perfect example as it appears to embrace earlier styles of Anglo-Welsh building tradition: namely the double-pile arrangement around a central passage. Furthermore, the hall is asymmetrical which suggests that it is more likely from the Regency period than from the strict Palladian style of the mid Georgian Era. Another strange feature of the building, which is non-typical, is that the principal elevation is difficult to discern. Both the northern and eastern elevations (the primary candidates) seem to possess no obvious location for a front door and appear to have been bypassed by the driveway on historic maps. It is likely that the eastern elevation of the former southern wing housed the entrance to the Hall, as this is where the grand, sweeping driveway terminated on the maps. Whether this was a specific design choice by the original architect or a more practical response to the specific environmental conditions at Llanddulas is unclear, perhaps prevailing weather systems from the northwest impacted the design – necessitating the need for a more sheltered entrance.

This historic building record can be seen as having fulfilled the spirit and intent of the condition and have addressed the initial comments regarding the proposed development recommended by the CPAT Development Management Archaeologist. Follow up archaeological work will now be conducted by the client as a new extension is founded for the Hall, as these works have the potential to reveal/destroy sub-surface archaeology relating to the earlier phases of the Halls' existence, these may include walls, cellars or other artefacts relating to the site.



## 10.0 SOURCES

### *Maps.*

Ordnance Survey 1<sup>st</sup> edition 25-inch map 1875-76.

Ordnance Survey 2<sup>nd</sup> edition 25-inch map 1900.

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## APPENDIX I – WRITTEN SCHEME OF INVESTIGATION



**æon archaeology**

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**Tanrallt Hall, Abergele Road,  
Llanddulas, Abergele LL22 8HR  
(0/50020)**

**Written Scheme of Investigation (WSI)  
for Level 2 Historic Building Record**

**October 2022 v1.0**



Project Code: A0389.1  
Planning Ref. 0/50020  
Event PRN: Tbc

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# Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR (0/50020)

## October 2022 v1.0

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Project Code: A0389.1

Date: 05/10/2022

Client: CETE Ltd

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## 1.0 PROJECT BACKGROUND

Aeon Archaeology has been commissioned by CETE Ltd, hereafter ‘the Client’, to produce a Written Scheme of Investigation (WSI) for carrying out a level 2 historic building record of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR (centred on **NGR SH 90153 78153**) in advance of alterations and extensions comprising of no. 2 single storey side extensions, pitched roof garage extension, two storey rear pitched roof extension, glazed veranda together with internal amendments.

A planning application (**ref: 0/50020**) was submitted by the Client to Conwy County Borough Council, hereafter ‘the Council’, on 9<sup>th</sup> September 2022 but is awaiting determination. The Development Management Archaeologist (DMA) at the Clwyd Powys Archaeological Trust (CPAT), in their capacity as advisors to the Council, recommended the following condition concerning archaeology and heritage be applied to any forthcoming permission:

*No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.*

*The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 BRP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670). After approval by the Local Planning Authority, a copy of the resulting report should also be sent to the Historic Environment Record Officer, Clwyd-Powys Archaeological Trust for inclusion in the regional Historic Environment Record and a copy of the report and whole project archive should also be sent to the National Monuments Record, RCAHMW*

*Reason: To allow an adequate analytical record of the building to be made, before conversion, to ensure that the buildings origins, use and development are understood and the main features, character and state of preservation are recorded.*

This design and all subsequent mitigation will conform to the guidelines specified in Historic England’s ‘*Understanding Historic Buildings: a guide to good recording practice*’ (2016) & *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Chartered Institute for Archaeologists, 2020).

It is a requirement that this WSI is submitted to and approved in writing by the Planning Officer and the DMA at CPAT prior to the works being undertaken.

The DMA at CPAT made the following consultee comments regarding the proposed development:

*Tan-yr-Allt Hall is shown on the 1st edition Ordnance Survey mapping of the area with an enlarged footprint compared to its modern one. A range of buildings can be seen aligned east-west from the northern part of the structure, which may be represented by the wall marked to be demolished in the plans available. To the south of the modern building there is also an extension visible on the early mapping, which has been removed during the second half of the 20th century. This extension will also need an archaeological watching brief, with the early mapping showing potential for sub-surface*

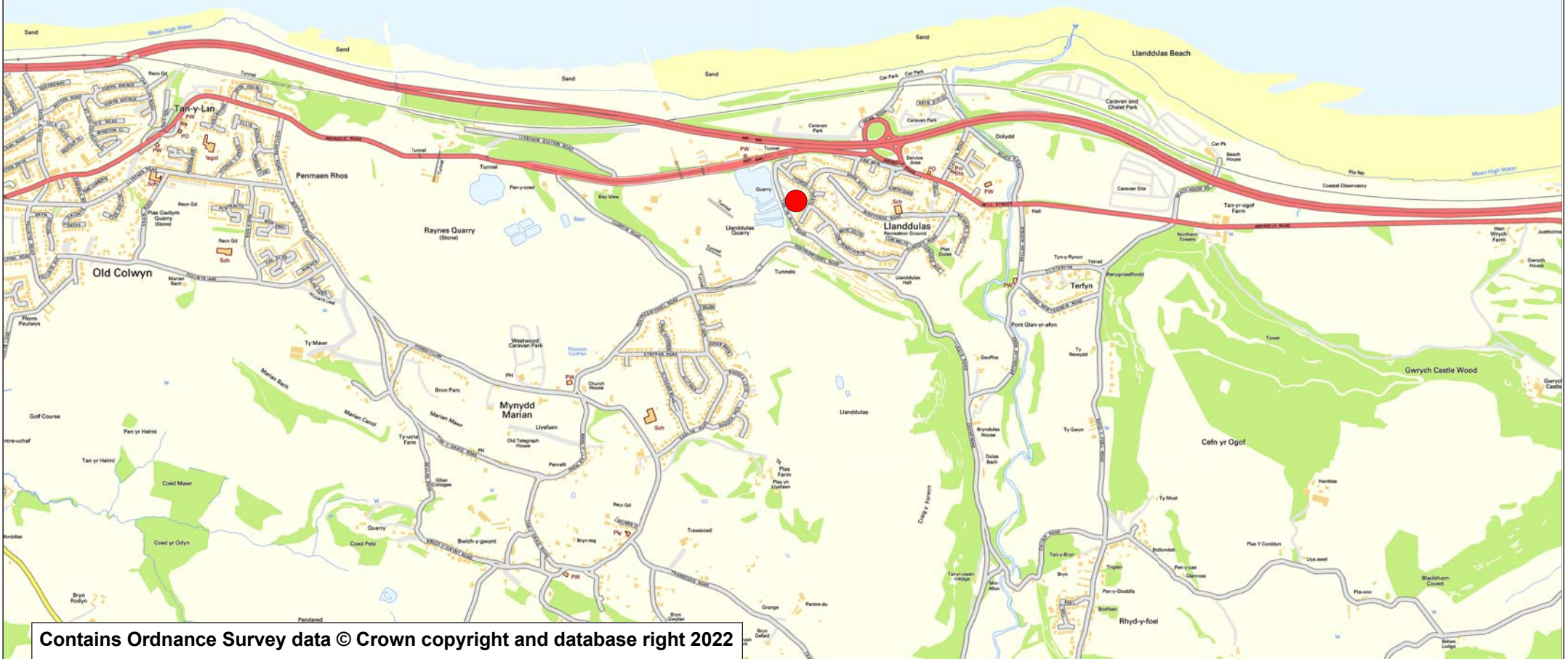
*archaeology relating to the earlier phases of the Halls' existence, which may include walls, cellars or other artefacts relating to the site.*

*It is understood from the photographs supplied that work has already started on the building and although the proposals appear relatively sympathetic, the extensions will inevitably remove some elements of the building's original fabric. It would be useful to obtain a record of the structure in its present form prior to conversion commencing to ensure that the buildings origins, use and development are understood, and the main features, character and state of preservation are recorded.*



Rhos or Colwyn Bay

Rhos or Colwyn Bay



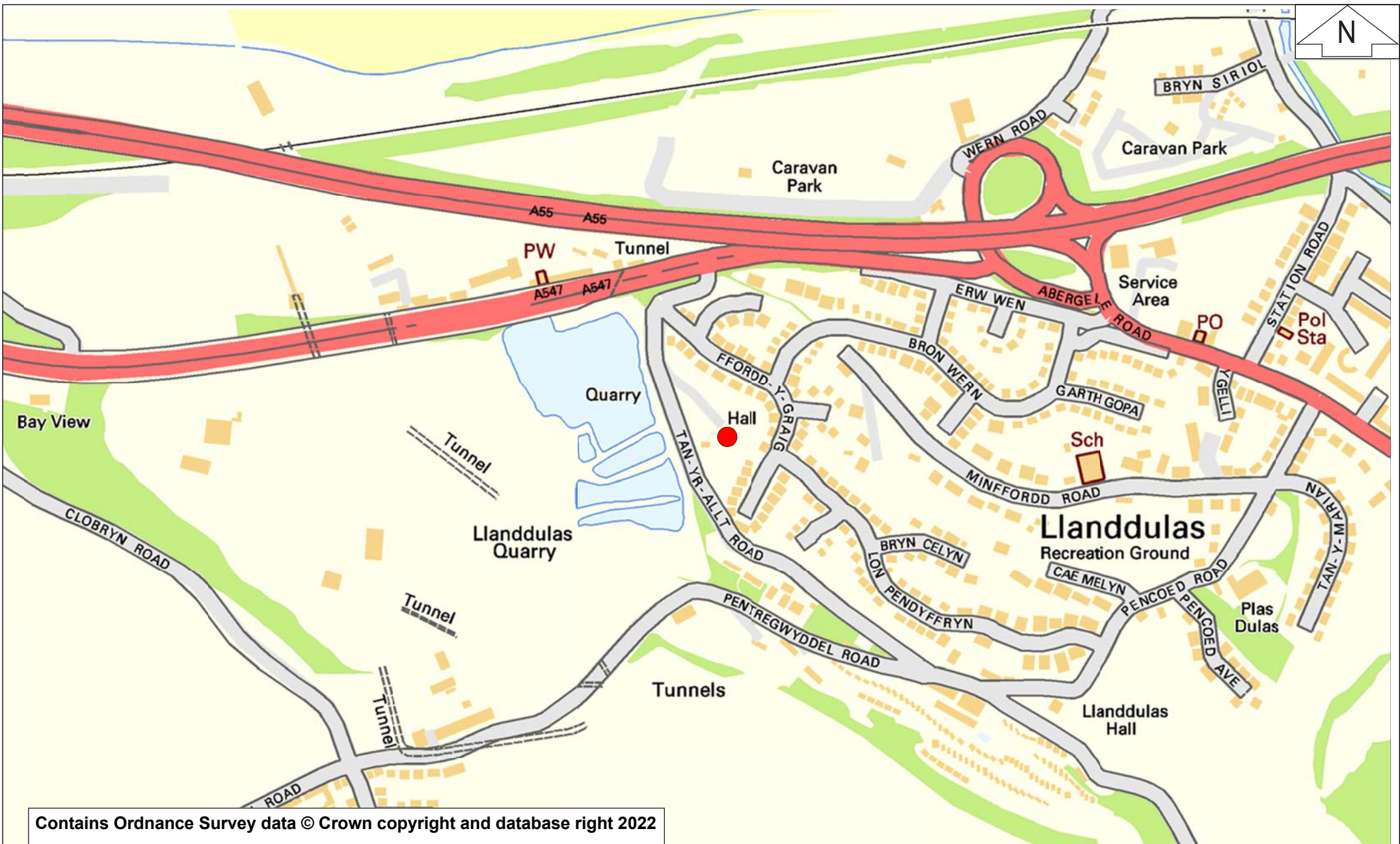
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**Figure 01:** Location of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.  
Scale 1:20,000 at A4.



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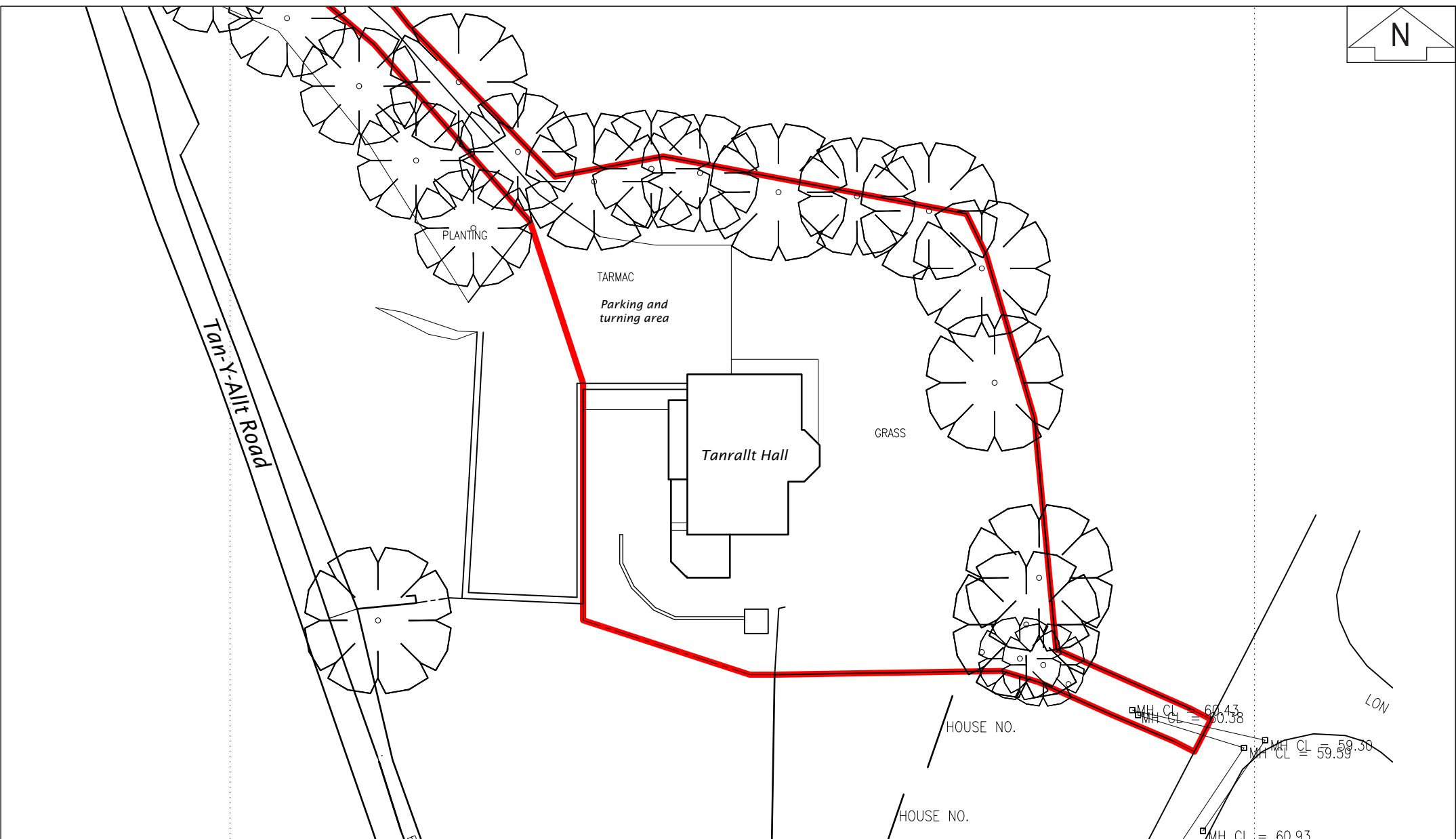


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**Figure 02:** Location of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.  
Scale 1:5,000 at A4.

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**Figure 03:** Location of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR.  
Scale 1:500 at A4.

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## 2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

*The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.*

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

## 3.0 REQUIREMENTS

### 3.1 Building Record

The requirements are for an archaeological building record of Tanrallt Hall, however should observations or desk-based research suggest the potential for significant features to be encountered during the renovation works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DMA at CPAT has requested that the building record be roughly commensurate with the Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

Both the exterior and the interior will be viewed, described and photographed. The record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based.

The detailed photographic record will consist of Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2006) elements:

written account: 1-3, 6

drawings: sometimes 1, sometimes one or more of 2-7

photographs: 1,2,4

## **4.0 METHOD STATEMENT**

### **4.1 Level 2 Record**

#### **4.1.1 Written Account**

The written account will include:

A written account will be prepared to include the buildings' precise locations along with details of any statutory or non-statutory designations. The date of the record, the name(s) of the recorder(s) and the proposed location for the archive of the record will also be confirmed.

Information on the Buildings' types and purposes, historically and at present, materials, and possible date(s) and phasing, in so far as these are apparent from an appropriate inspection will also be presented as a summary statement. The written account will summarise the Building's form, function, date and sequence of development. The names of architects, builders, patrons and owners will be given if known.

The written record will be completed via Aeon Archaeology pro-formas.

#### **4.1.2 Photographs**

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.

The photographic record will be maintained throughout using a digital SLR camera (Canon 600D) set to maximum resolution (72 dpi) with photographs taken in RAW format and later converted to TIFF format for long-term storage and JPEG format for presentation and inclusion in the archive. The standards for the digital archive will adhere to those set out in 'Digital Archiving: Appendix 6. Digital Archive Repository Requirements (Archaeological Data Service, 2015).

All photographs forming part of the record will be in focus, with an appropriate use of depth of field; they will be adequately exposed in good natural light, or where necessary well-lit by artificial means. In order to produce the best possible results in limited time site photography will be planned to coincide with variations in natural light.

A tripod will be utilised throughout thus ensuring that images are unaffected by camera shake. When using a DSLR with a choice of lenses the least distorted image can be obtained using standard or slightly telephoto lenses. Wideangle lenses will not be used. Care taken in levelling the camera will help to avoid introducing distortions.

When photographing details the camera will be located straight on to the subject, and will include a clearly marked and suitably sized scale parallel to one edge of the photograph.

The main source of artificial light for interior photography is electronic flash. This has the advantage of being similar in colour balance to daylight, making it the most practical choice for most colour image capture. An integral flash, as supplied on many DSLRs, is often not powerful enough to meet

the range of demands in architectural work. In such cases the use of natural light, in conjunction with a tripod, may produce a better image.

#### **4.1.3 Drawings**

The drawn record will include:

- A site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

Caution will be exercised in using drawings created for other purposes, particularly for estate agents particulars etc, as these often rationalise plans and remove irregularities which may be key to understanding a building. Detailed plans made by surveyors for purposes of design or alteration may form a satisfactory basis for drawings which aim to show the evolution of a building, but their accuracy will need to be confirmed and they will sometimes need to be adapted to show a greater range of historical evidence.

#### **4.2 Processing data, illustration, report and archiving**

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

## **5.0 DISSEMINATION AND ARCHIVING**

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

Upon completion of the project copies of the report will be sent to the Client, regional HER and DMA at CPAT.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2018) including the translation of a non-technical summary into the medium of Welsh.



## **6.0 DIGITAL DATA MANAGEMENT PLAN**

### **6.1 Type of study**

Level 2 historic building record of Tanrallt Hall, Abergele Road, Llanddulas, Abergele LL22 8HR (centred on NGR SH 90153 78153).

### **6.2 Types of Data**

Photographs, digital text, annotated plans.

### **6.3 Format and scale of the data**

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code\_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

Written descriptions taken in digital *.txt* format and sent via email to ensure a digital backup copy at time of record.

Annotated plans scanned as *.PDF* files.

### **6.4 Methodologies for data collection / generation**

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

*3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.*

*3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate*

### **6.5 Data quality and standards**

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

### **6.6 Managing, storing and curating data.**

All digital data will be organised into Aeon Archaeology proforma project file systems and backed up to the cloud using *Digital River's Crashplan* with additional copies made to external physical hard drive.

## **6.7 Metadata standards and data documentation**

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

## **6.8 Data preservation strategy and standards**

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of digital (.PDF) reports and a project completion form to the Oasis database; submission of the scanned (.PDF) archive, photographic plates (.TIF), and metadata (.xlsx) (.accdb) to the Archaeology Data Service (ADS); and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to the cloud.

## **6.9 Suitability for sharing**

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

## **6.10 Discovery by potential users of the research data**

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the ADS and Oasis websites. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology ([info@aeonarchaeology.co.uk](mailto:info@aeonarchaeology.co.uk)).

## **6.11 Governance of access**

The decision to supply research data to potential new users will be via the associated website request (ADS, Oasis, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

## **6.12 The study team's exclusive use of the data**

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

## **6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions**

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

## 6.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

## 6.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCIfA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

## 6.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

## 7.0 PERSONNEL

The work will be managed and undertaken by Richard Cooke BA MA MCIfA, Archaeological Contractor and Consultant at Aeon Archaeology. Full details of personnel involved, with *curricula vitae*, can be supplied upon request.

## 8.0 MONITORING AND TIMING

Monitoring visits can be arranged during the course of the project with the Client and with the DMA at CPAT.

## 9.0 HEALTH AND SAFETY

Aeon Archaeology has a Health and Safety Policy Statement which can be supplied upon request. Furthermore, site-specific Risk Assessments and Method Statements are compiled and distributed to every member of staff involved with the project.

## 10.0 INSURANCE

### *Liability Insurance*

- Employers' Liability: Limit of Indemnity £10m in any one occurrence
- Public Liability: Limit of Indemnity £2m in any one occurrence
- Legal Defence Costs (Health and Safety at Work Act): £100,000

The current period expires 07/09/23

### *Professional Indemnity Insurance*

- Limit of Indemnity £500,000 any one claim

The current period expires 07/09/23

## **11.0 GENERAL**

All project staff will adhere to the *Code of Conduct of the Chartered Institute for Archaeologists*.

The project will follow the requirements set down in the *Standards and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures (2020)* prepared by the Chartered Institute for Archaeologists.

A Method Statement and Risk Assessment will be prepared prior to the commencement of fieldwork and circulated to all staff concerned.

