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Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (24/2023/0213)

February 2024 v1.0



Historic Building Record Level 2

Project Code: A0470.1

Report no. 0457

Event PRN: 218144





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Aeon Archaeology

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Project Code: A0470.1

Date: 24/02/2024

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Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL

February 2024 v1.0

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1.0 INTRODUCTION

Comisiynwyd Aeon Archaeology gan Paul Kinlan, 'y Cleient' o hyn ymlaen, i gynnal arolwg adeiladu lefel 2 o hen goetsiws a leolir gerllaw Hafod Ynys, Rhewl, Sir Ddinbych LL15 1UL (yn canolbwyntio ar NGR SJ 10894 60602), o hyn ymlaen 'the Safle', (ffigurau 01-03).

Sicrhawyd caniatâd cynllunio llawn (cyf: 24/2023/0213) gan y Cleient gan Gyngor Sir Ddinbych, o hyn ymlaen 'y Cyngor', ar 10 Tachwedd 2023 ar gyfer addasu cerbyty a garejys i ffurfio swyddfa a llety byw/annecs ychwanegol. Mae'r amod archeolegol a ganlyn wedi ei gymhwyso i'r caniatâd:

Aeon Archaeology was commissioned by Paul Kinlan, hereafter 'the Client', to carry out a level 2 building survey of a former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire LL15 1UL (centred on **NGR SJ 10894 60602**), hereafter 'the Site', (figures 01-03).

Full planning permission (**ref: 24/2023/0213**) was secured by the Client from Denbighshire Council, hereafter 'the Council', on the 10th November 2023 for the *Conversion of coach house and garages to form an office and additional living accommodation/annexe*. The following archaeological condition has been applied to the permission:

Condition 9

No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.

The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 8RP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670).

On approval by the Local Planning Authority, project data must be submitted and approved for inclusion in the Clwyd-Powys Archaeological Trust's Historic Environment Record [CPAT HER]. For any questions regarding this submission process, please contact the HER Team at her@cpat.org.uk. The full digital archive must also be submitted and approved for inclusion within the National Monuments Record, RCAHMW or the Archaeology Data Service, ADS.

Reason: In the interests of investigation and recording of historic buildings.

The Development Management Archaeologist (DMA) at the Clwyd-Powys Archaeological Trust (CPAT) made the following consultee comments as part of the application and in their role as archaeological advisors to the Council:

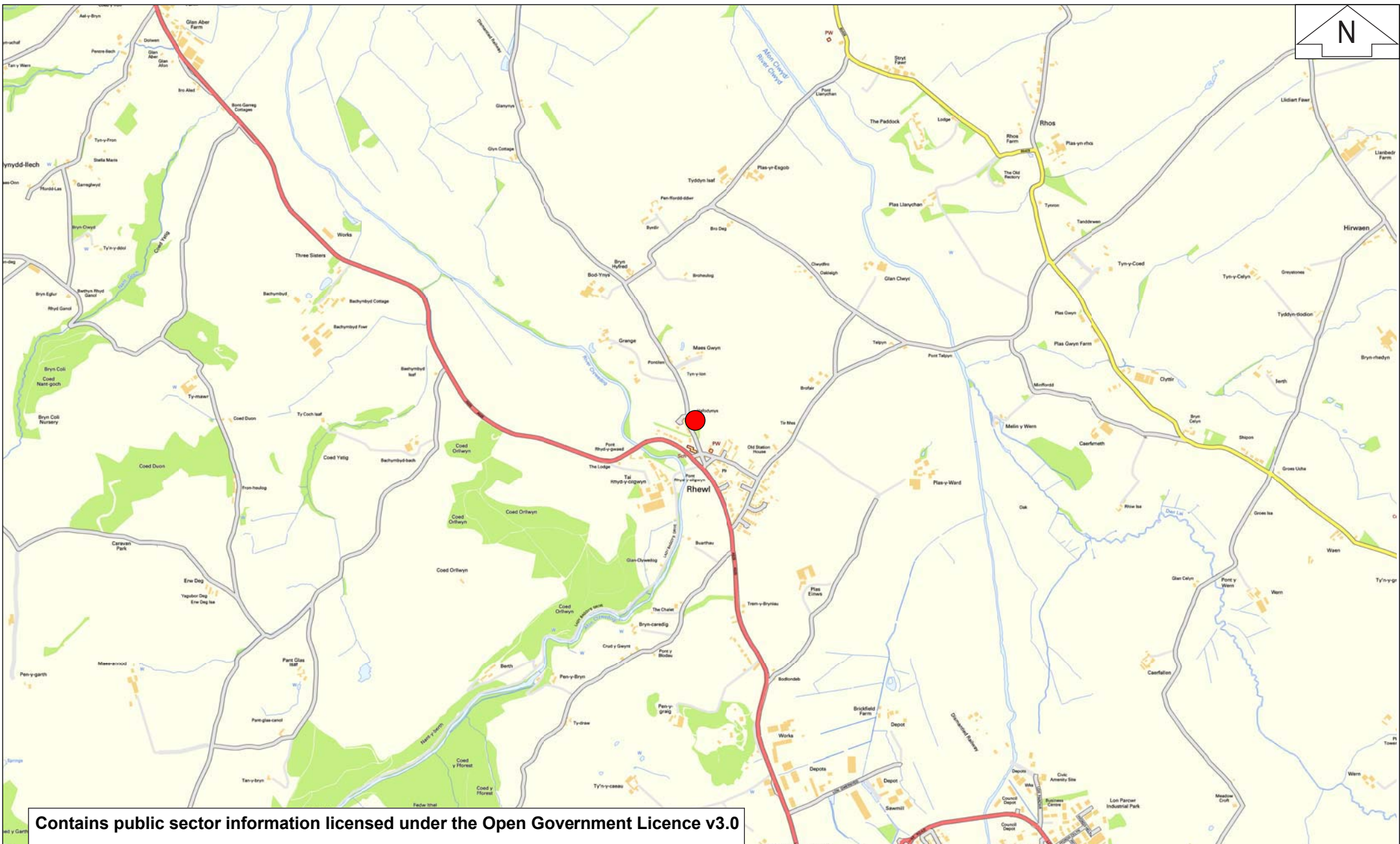
Information held within the Regional Historic Environment Record indicates that the buildings to be converted are visible on the Tithe and early Ordnance Survey Mapping of the area and have attributes which are of at least vernacular interest. Therefore, we would

recommend that an appropriate level of archaeological building recording is completed to chronicle the buildings in their current form. In this case we would advise that a Level 2 historic building survey is completed in accordance with the Planning Policy Wales (Feb 2021) and TAN 24 (May 2017) guidance, and an appropriate condition is supplied below.

The Listed Building, Hafodynys (PRN 97075, LB 22162) directly south of the coach house may be impacted by the works and the Built Heritage Conservation Officer should also be consulted on this application.

The Level 2 survey would include a detailed photographic survey, written descriptive survey, phased plans of buildings development and a measured survey using annotated architects plans where these are available, or a new survey where architects plans are not of sufficient detail.

This design and all subsequent mitigation will conform to the guidelines specified in Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2020).



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Figure 01: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:20,000 at A4.



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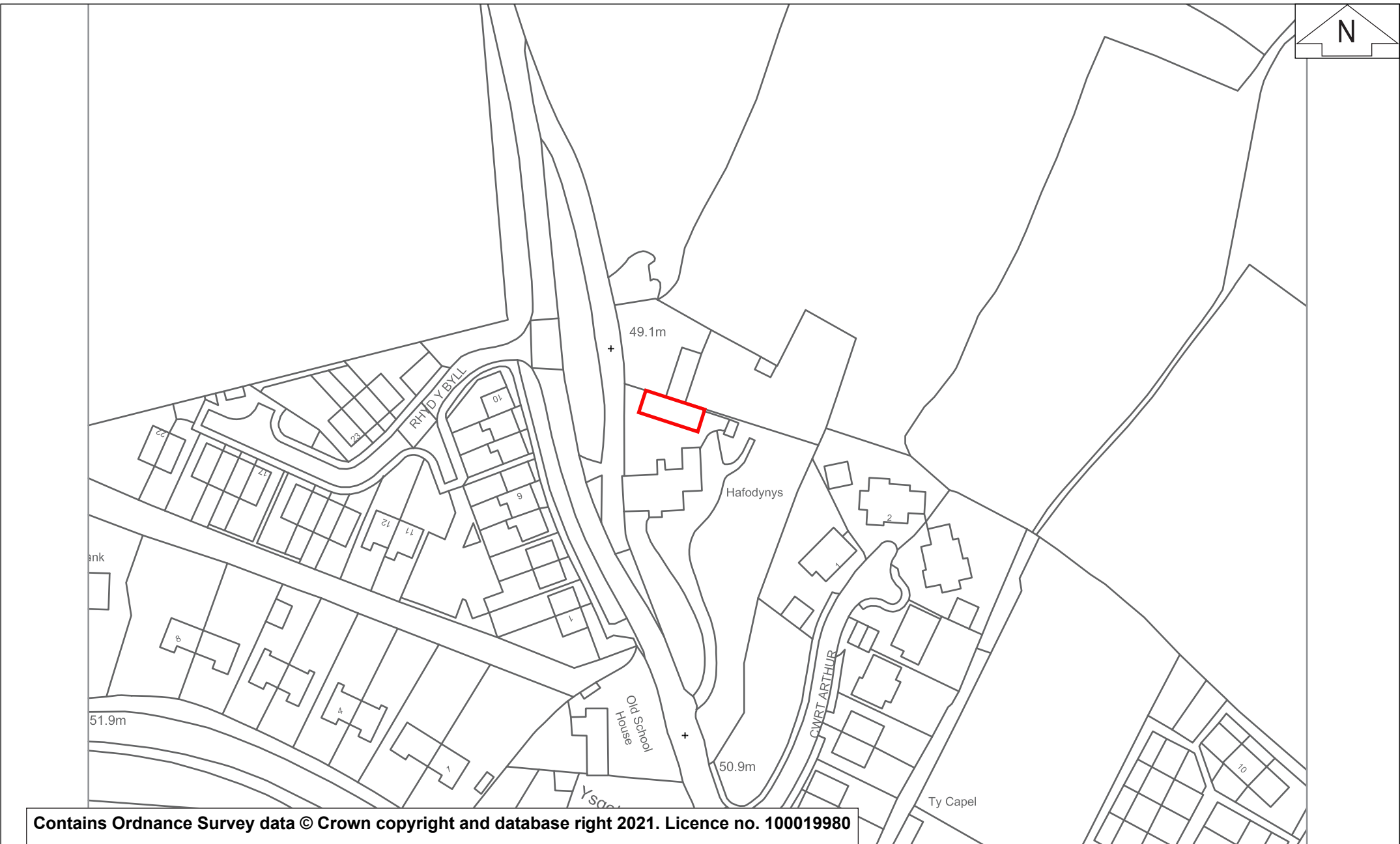


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Figure 02: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:5,000 at A4.



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Figure 03: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:1,250 at A4.



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2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO *Convention Concerning the Protection of World Cultural and Natural Heritage*¹ and the *European Convention on the Protection of the Archaeological Heritage*², commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the *Planning (Conservation Areas and Listed Buildings) Act*³ 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the *Town and Country Planning 1995*.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

¹ UNESCO, 1972, *Convention Concerning the Protection of the World Cultural and Natural Heritage*

² Council of Europe, 1992, *European Convention on the Protection of the Archaeological Heritage*

³ Great Britain. *Planning (Conservation Areas and Listed Buildings) Act*. Elizabeth II.(1990), London: The Stationery Office

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.5.5 concerns planning applications:

The conservation of archaeological remains is a material consideration in determining a planning application, whether those remains are a scheduled monument or not. Where nationally important archaeological remains, whether scheduled or not, and their settings are likely to be affected by proposed development, there should be a presumption in favour of their physical protection in situ. It will only be in exceptional circumstances that planning permission will be granted if development would result in an adverse impact on a scheduled monument (or an archaeological site shown to be of national importance) or has a significantly damaging effect upon its setting. In cases involving less significant archaeological remains, local planning authorities will need to weigh the relative importance of the archaeological remains and their settings against other factors, including the need for the proposed development.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 SPECIFICATION AND PROJECT DESIGN

The requirements were for an archaeological building record of the former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire LL15, prior to alteration, however should observations or desk-based research have suggested the potential for significant features to be encountered during the renovation and site clearance/ground work, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DCA at CPAT had requested that this building record should be roughly commensurate with the Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

Both the exterior and the interior were be viewed, described and photographed. This record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based.

The detailed photographic record will consist of Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2006) elements:

written account: 1-3, 6

drawings: sometimes 1, sometimes one or more of 2-7

photographs: 1,2,4

4.0 METHOD STATEMENT

4.1 Level 2 Record

4.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy will be included.

4.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically, a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

4.1.3 Drawings

The drawn record will include:

- A site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

4.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive, or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

5.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

A draft copy of the report will be produced within six weeks of the completion of the fieldwork and will include an updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy. A copy of the report will be sent to the Client and the DMA at CPAT for comment prior to finalisation of the report and dissemination. Digital copies of the report and archive will be sent to the regional HER and the DMA at CPAT, with the original paper and digital archive being deposited with the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW) for long term archiving. Furthermore, a summary of the project will be sent to *Archaeology in Wales* for publication.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2018 updated 2022) including the translation of a non-technical summary into the medium of Welsh.

6.0 DIGITAL DATA MANAGEMENT PLAN

6.1 Type of study

A level 2 building survey of a former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire LL15 1UL (centred on **NGR SJ 10894 60602**) prior to *conversion of coach house and garages to form an office and additional living accommodation/annexe.*

6.2 Types of data

File name	File Contents	Linked File(s)	Number of files
A0470.1 Former Coach House, Hafod Ynys, Rhewl HBR lv2 1.0.PDF	PDF report		1
A0470.1_001 - A0353_2_040.JPG	JPEG site images	A0470.1_Metadata	72
A0470.1_001 - A0353_2_040.TIF	TIF site images	A0470.1_Metadata	72
A0470.1_Metadata.XLSX	Excel file of photographic metadata	A0470.1_001 - A0470.1_072 (JPEG and TIF)	1
Digital Proformae (Descriptions, .TXT)	1 x text documents		1

All data generated during this project has been selected for archive.

6.3 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

All written registers, pro-formas, and scaled drawings scanned as *.PDF* files.

6.4 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.

3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance, in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

6.5 Data quality and standards

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

6.6 Managing, storing and curating data.

All digital data will be organised into Aeon Archaeology proforma project file systems and backed up to the cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

6.7 Metadata standards and data documentation

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

6.8 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of digital (.PDF) reports and the original and digital scanned archive to the RCAHMW; and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to The Cloud.

6.9 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

6.10 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

6.11 Governance of access

The decision to supply research data to potential new users will be via the associated website request (RCAHMW, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

6.12 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the

project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

6.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

6.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCifA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

6.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

7.0 ARCHAEOLOGICAL AND HISTORICAL RECORD

Location

The Coach House at the Grade II listed (*Ref: 22162*) *Hafod Ynys* lie within the community of Rhewl, Denbighshire. It lies approximately 2.60 km northwest of Rhuthin, and 4.60km south of Llandyrnog in the Vale of Clwyd, Denbighshire. Rhewl, also lies along the A525, which runs between Ruthin and Denbigh. Situated beside the River Clywedog, the village is notable for landmarks such as the Drovers Arms public house and Lady Bagot's Drive. This scenic two-mile pathway, initially constructed as a carriageway by Lord Bagot in the Edwardian era, offers a picturesque route along the River Clywedog, connecting Rhewl to Bontuchel. The Coach House is located to the north of *Hafod Ynys*.

Tithe Map

The 1840 tithe *Map of the parish of Llanynys in the County of Denbigh* and the associated apportionment records that the plot number allocated to the farmstead is 1090; and is attributed to name: *Rhydycilgwyn Isa*, and this is more specifically described as a *House and Gardens*. The landowner at this time was *David Parry*. and the occupier at this time is noted as *On Hand*. In apportionment documents associated with tithe maps, 'on hand' in the occupier column indicates the current possessor or occupant of the land during the assessment period. This could encompass farmers, landowners, tenants, or any entity responsible for land use and management. The term implies active possession and utilization of the land, contrasting with vacancy or disuse

General

Hafodynys, is likely late Georgian/ early Victorian house dating back to around 1830, it features a modest Tudor style with a coach house, stables and gardens to the rear. Situated on the northern outskirts of the village of Rhewl, it is positioned, set back from a lane within its own grounds, nearly opposite the Former School House. The house, resembling a rectory in scale, is constructed of roughcast rubble with a slate roof adorned with decorative ridge tiles. The facade consists of a symmetrical 3-bay layout with a central steeply-gabled entrance bay featuring deep verges and moulded bargeboards. A single-storey porch leads to the entrance, which has four-panel double doors within a moulded wooden architrave. The windows throughout are primarily 12-pane unhorned sashes with tripartite arrangements and projecting stone sills. The rear elevation retains its original windows in an asymmetrical arrangement with decorative bargeboards. An early 20th-century WC block is attached to the rear, along with a one-and-a-half storey block featuring hipped gabled dormers and corbelled cornices.

Vale of Clwyd - Rhôs, Ruthin, Llanynys and Llangynhafal, Denbighshire

The region consisting of Rhôs, Ruthin, Llanynys, and Llangynhafal (HLCA 1047) within the Vale of Clwyd, features scattered large farms and halls, some dating back to the early post-medieval period. The landscape consists of expansive fields bordered by drainage dykes and hedges along the Clwyd River, with pockets of parkland to the south.

This area straddles the boundary between medieval ecclesiastical parishes and ancient cantrefs. Likely subject to seasonal waterlogging before drainage efforts began around the 16th century, the earliest archaeological evidence corresponds to the early post-medieval era, particularly evident in the construction of buildings.

Typical settlements comprise large halls alongside smaller stone or brick farms and cottages, with some structures evolving from earlier half-timbered halls. Notable examples include *Plâs-yn-rhôs* and *Glan Clwyd*, renovated during the 18th century. Modern developments such as *Plas Llanychan* replaced earlier structures, reflecting evolving architectural styles.

In more recent times, the establishment of *Rhewl* brought new settlement patterns, featuring an inn, limestone houses, a chapel, and a mission church, alongside educational and residential infrastructure.

The landscape is characterized by large, sinuous fields divided by drainage ditches and post-and-wire fences, primarily used for pasture and fodder crops. Boundaries are marked by hawthorn hedges, elder trees, and occasional poplar, ash, and alder trees. The layout and architecture suggest that the landscape was shaped by 16th- and early 17th-century drainage and enclosure efforts.

Roadways consist mainly of winding lanes, with evidence of historical bridges spanning the Clwyd River. Notable structures include *Pont Perfa* and *Llanychan Bridge*, showcasing architectural features from the 18th and early 19th centuries. Small areas of parkland, such as those surrounding *Plas y Dyffryn* and *Plas Gwyn*, add to the character of the region, featuring mature trees and natural watercourses.

8.0 BUILDING DESCRIPTIONS

The former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire (Figure 04, 05 & Plates 01-34)

External Descriptions

This is a rectangular building orientated west/northwest to east/southeast (for the remainder of this report, directions will be simplified to cardinal compass points). The building is located directly to the north of the early Victorian house, known as Hafod Ynys. It is believed that the building (*the Coach House, and subject of the level 2 building survey*), originally served as the coach house and stable for the house. The area between Hafod Ynys and the coach house is taken up by a large area of brick paved yard. At the time of the survey access, from the northern view of the property was not possible due to it bordering on a neighbour's land.

The building appears to have been constructed of roughly two main construction phases with some structural changes occurring in between the initial and secondary phase of construction (*see discussion of south facing elevation below for more details*). The larger portion of the building constructed from dressed stone and bonded by lime mortar represents the primary phase of construction, and likely dates to before 1840 and is located on the western side, whereas the secondary phase (eastern side) is represented by redbrick bonded by Portland cement, and this likely dates to sometime between 1879 and 1900. *Throughout this report the stone building will be referred to as the primary phase and the brick building the secondary phase. However, Figure 04 refers to the secondary phase (brick building) as the tertiary phase, this is because there are multiple phases of structural changes which have been allocated secondary phase status within the figure.*

The roof of the building is comprised of a dual pitched construction with the secondary phase (redbrick portion), being slightly taller than the primary phase construction. The roofs of both phases, have cement ridge tiles and have been roofed with blue slate. Furthermore, in the centre of the higher roof pitch (secondary construction) there is a lead and steel ventilation tower.

The southern (principal) elevation

The principal phase of the elevation is the south facing elevation. All the doorways present access on to the yard, situated between the house and the coach house. As mentioned earlier the eastern (and central) portion of the building represent the primary phase of construction. This is constructed from well-dressed vernacular stone, bonded by lime cement.

At the left-hand end, the building has a cast iron gutter at eaves height with a cast iron drain pipe and hopper collector to the right of centre, which falls to a drainage gully between two doorways. The far-left hand side of the elevation is characterised by large, square dressed stone quoins. The stonework is regular, except for a vertical masonry seam, which is present to the left of centre, at this location. This seam aligns with a long wooden lintel, which spans a large portion of the elevation, this denotes that a larger doorway, perhaps for carts once likely existed in this location.

The former aperture has been in-filled with the same, dressed stone as seen elsewhere on the elevation. However, to the right of centre within this elevation are two equally sized doorways with concrete lintels above. The area in between these doorways has been in filled with a red brick pillar (bonded by Portland cement). Furthermore, visible to the left of the left-hand doorway, on the base, and at the top of the red brick pillar (separating the doors), are three finally dressed sandstone blocks, which were likely once used to mount door hinges or bolts. The doors themselves are supported above by two large concrete lintels (which have been painted black), these appear to have been modern inserts to supplement timber lintels, which persist behind. The doors themselves are vertical plank and batten doors which have been painted black and have brick thresholds. In addition, at first floor height and centralised within the elevation (above the lintel), there is a window or loft hatch aperture, which has been blocked up with a red brick bonded by lime cement.

Judging by the selection of materials observed, and with the addition of the handsome dressed sandstone fixing blocks, it is suggested that this infill took place in roughly the same era in which the building was constructed. Therefore, due to the similarities in stonework and the use of fine sandstone blocks, it is believed that a small phase of adjustment was undertaken to fill in the former cart bay and it was likely converted into stabling. The use of such materials seems to fit the profile of a house belonging to a member of the minor gentry.

To the right of this, and sitting proud of the southern elevation by approximately 0.90m is a large doorway entrance. Presumably, this was part of the adjustment of the building which took place at a similar time to blocking up of the cart door at the entrance located to the left. The observed reason for this is that the mortar joints between the stonework here appear to match those noted on the infill located to the left (former cart door opening). Furthermore, the pitch of the roof appears to have been extended in order to accommodate the new projection, and this is evidenced by a gap in the slate line near the former eaves location of the former elevation.

In essence, the construction here comprises of two large, dressed stone pillars located at either end, upon which two courses of redbrick bonded by Portland cement have been located. This presumably, is then supported by a large concrete or timber lintel, which spans the large doorway opening (approximately 4.00m), a doorway comprises of a set of black painted sliding doors (with six panels) with a black painted door casing. Also, the steel beams, acting as lintel support for this large span, are masked from view by a black painted fascia board.

To the right of this is the secondary construction which is comprised of red brick. At ground floor level, and located within the central part of the elevation is a large garage door construction, comprising of two large opening plank and batten doors, to the left of which is a single doorway which permits access to the interior, these doors are constructed from timber and set within black painted wooden frames and have also been painted black.

At first floor height are two identical window openings which are offset to the left of centre. These are casement windows, comprising of four glass window panes (the left of which opens outwards). The windows are painted black and have concrete windowsills, and the lintel is lost within the wall plate within the eaves.

The eastern elevation

This represents the gable end of the (second phase) elevation and has been constructed from red brick bonded by Portland cement. This elevation demonstrates that the building has been built in a common bond. At first floor height, there is a fixed window unit consisting of four glass window panes set within black painted wooden frames and with a wooden sill. The window is supported above with a segmented brick arch on end. Apart from this, the elevation is featureless.

In addition, located to the east of the main building is a small, single-story construction, which has been roofed in blue slate and is constructed using the same materials and with the same methodology, as the first phase building. It is presumed that this was once either a pigsty or shed.

The northern elevation

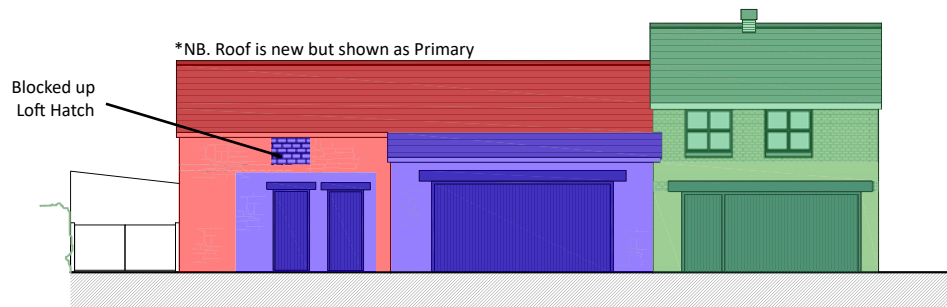
Unfortunately, the view from this perspective was not possible due to limitations on access. However, when viewed from the property of *Hafod Ynys* it appears that this portion once housed a walled former garden and was presumably sold off from the main house. It is thought that this area may have group value when combined with the house of *Hafod Ynys*.

The western elevation

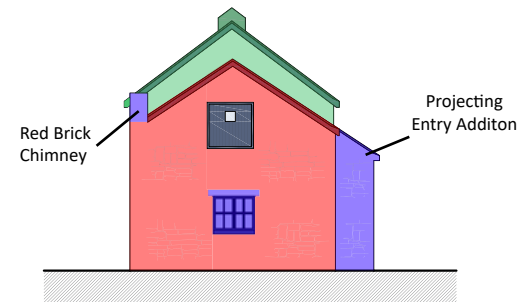
This is part of the primary phase of construction, as it is constructed from the same materials seen on the southern elevation. Visible at each end. Are examples of well-dressed vernacular stone masonry quoins. Furthermore, projecting from the left-hand side is a brick-built chimney stack, which is presumably a later addition.

At ground floor level, there is a single centralised window with eight glass window panes set within black painted wooden frames. It has a red brick windowsill and a modern concrete lintel inserted above. The concrete lintel is too small to bridge the gap for the window aperture and has resulted in a structural crack.

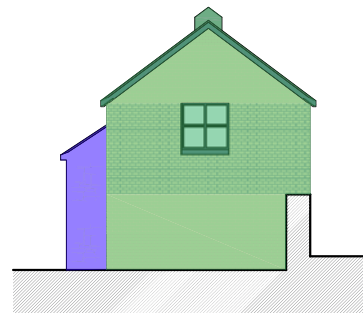
Above this, and centralised within the elevation (at first floor height) is a loft hatch opening which consists of a black painted wooden door with a single glass pane. This is situated within black painted wooden frames.



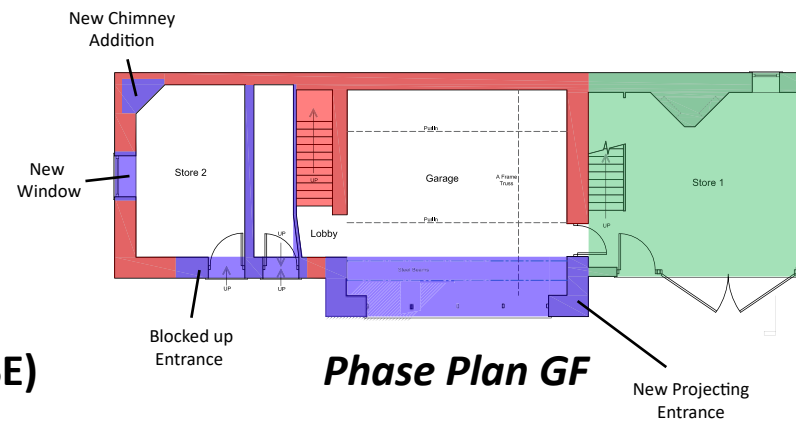
Southern Elevation (SSW)



Western Elevation (WNW)



Southern Elevation (ESE)



Phase Plan GF

- Primary Phase** - Prior to 1840 - *Initial Construction*
- Secondary Phase** - Prior 1840 -1879 - *Structural Changes after initial Build*
- Tertiary Phase** - 1879 -1900 - *Late Victorian Brick Addition*



Figure 04: Figure showing suggested phase plan, including elevations and ground floor plan of the former Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL. Scale 1:200 @ A4.

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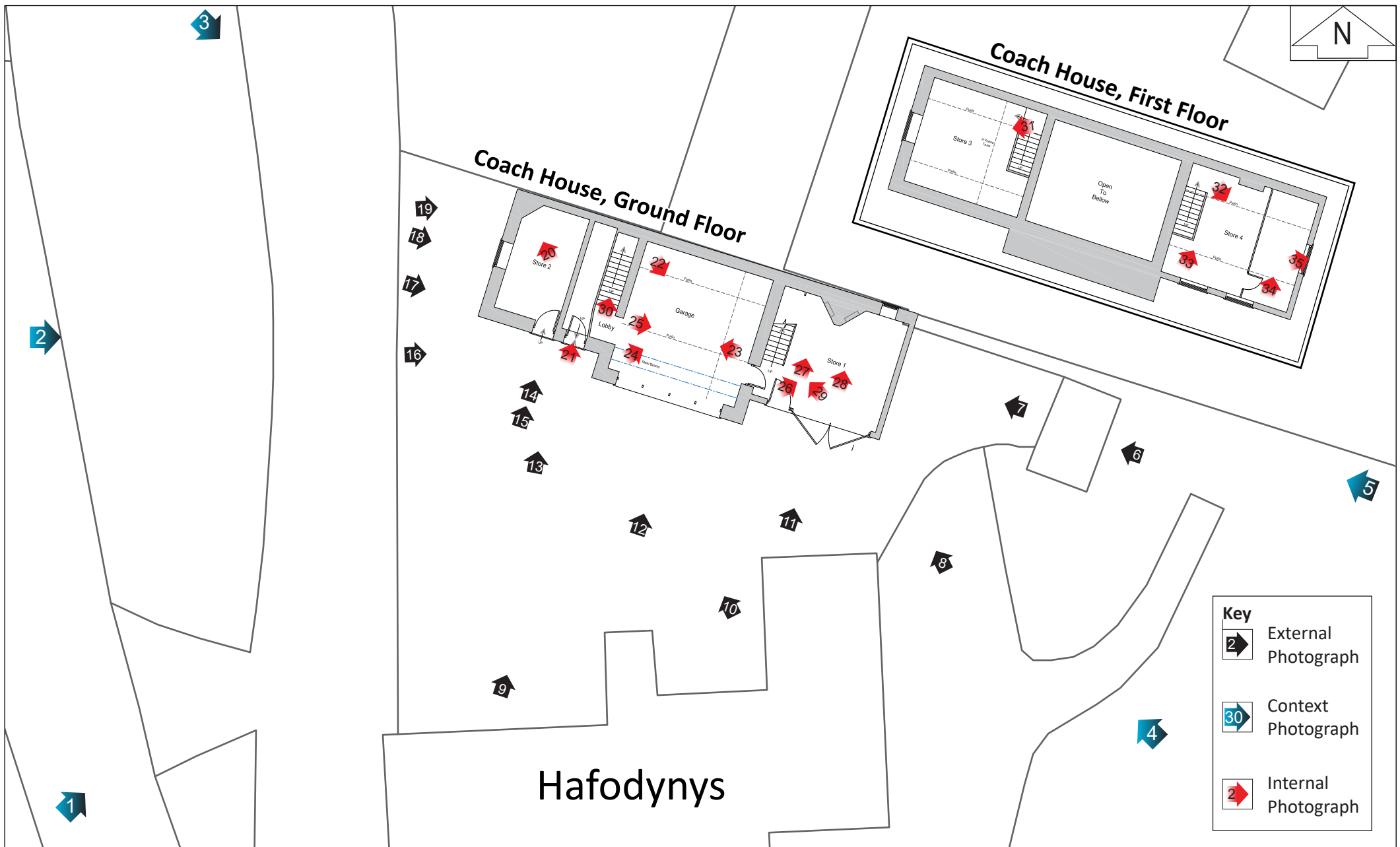


Figure 05: Figure showing location of archaeological plates taken, overlaid onto a ground floor & first floor plan of the former Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL. Scale 1:200 @ A4.



Plate 01: Context Shot of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southwest - no scale



Plate 02: Context Shot of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the west - no scale



Plate 03: Context Shot of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the northwest - no scale



Plate 04: Context Shot of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southeast - no scale



Plate 05: Context Shot of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the east - no scale



Plate 06: Eastern elevation (upper part), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the east - 1.00m scale



Plate 07: Eastern elevation (lower part), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the east - 1.00m scale



Plate 08: Oblique shot of eastern and southern elevations of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southeast - 1.00m scale



Plate 09: Southern elevation, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale



Plate 10: Oblique shot of southern elevation of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south- 1.00m scale



Plate 11: Southern elevation (right), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale



Plate 13: Southern elevation (left), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale



Plate 14: Stone infill of former cart doorway on southern elevation, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale



Plate 15: Brick infill of window above former cart doorway on southern elevation, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale



Plate 16: Oblique shot of southern elevation of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southwest - 1.00m scale



Plate 17: Western elevation (right), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the west - 1.00m scale



Plate 18: Western elevation (centre), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the west - 1.00m scale



Plate 19: Western elevation (left), of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the west - 1.00m scale

Internal Descriptions

Primary phase construction (Stone built)

Ground floor - Easternmost room

This is a rectangular room orientated north to south and measures 4.53m long by 2.87m wide. The ceiling is constructed from seven sawn timber joists which support a wooden board floor above. The eastern and northern walls are constructed from dressed vernacular stone, which has been painted white. But the western wall and a large portion of the southern wall have been constructed from red brick bonded by Portland cement and painted white. (These brick walls represent an intermediary phase of construction, (*see Figure 04*), and are likely associated with changing the function of the former single room, into two rooms, perhaps as grooms' quarters.

The eastern elevation has a single window with eight glass panes set within black painted wooden frames and a decorative cast iron scrolled handle. The wall cheeks and windowsill comprise of red brick painted white, and a concrete lintel is located above. It appears that this window is a later insert within the elevation. Where the northern elevation and the eastern elevation meet there is a corner fireplace which has been constructed from red brick and painted white. A fireplace opening is formed by a segmented brick arch head. As mentioned, the western elevation is comprised of red brick and forms a partition, presumably a division of an earlier space (the coach house).

The southern elevation has a doorway to the left of centre, which permits access to the exterior. This is a white painted plank and batten door, which is supported by a concrete lintel and the area around the door has been in filled with red brick. The floor is of red quarry tiles.

The room to the west of the red brick partition is accessed via the second door on the elevation. This now comprises of a log store. Once again, the ceiling exhibits sawn timber joists (two) supporting a wooden board floor. The northern elevation is of stone, the eastern elevation is of red brick and the southern elevation is of red brick and concrete lintels with the door situated below. The eastern elevation is formed by a timber plank partition, which houses the staircase permitting access to the first floor. The floor is of slate paving slabs.

The large garage room

This is a large, rectangular room orientated east to west, and which measures 5.81m long by 5.43m wide. The ceiling is open to the roof pitch which demonstrates a single a frame truss which has hand hewn primary rafters, which are supported by a wooden wall plate to the north, and which rests upon the stone wall construction to the south. The main brace of this truss is of sawn wooden timber and has been secured to the primary rafters with iron bolts. These support two hand hewn purlins, which exit through the eastern and western elevations, and seemingly are not lapped. These support sawn wooden rafters, which support the battens for the slates above.

The eastern elevation is constructed from stone rubble bonded by lime mortar and has been painted white. There is a single doorway opening to the left of centre, which permits access to a staircase which allows the first floor to be accessed. This door is open but has a black painted wooden frame. There is a wooden lintel visible above. To the right of this, there is a portion of modern timber stud work. And above both the stud work and the door there is a wooden platform upon which fluorescent lighting has been mounted.

The northern elevation is largely obscured by modern timber stud work. However, in the top left-hand corner at eaves height, there appears to be a former window aperture which has been blocked up. The eastern elevation has been constructed from Stone rubble bonded by mortar, and there is a doorway opening at the right-hand side permitting access to the secondary phase building ground floor level beyond. This is a plank and batten door, which has been painted black and set within black painted wooden frames. Evident to the right of the frame is the fractured masonry of the wall suggesting that this is a later insertion.

The southern elevation is dominated by the large (six panel), sliding garage door, which functions via rails, mounted on the floor and on a runner above. The massive span created by the garage door insertion is supported by two substantial iron girders, which have been situated on the eastern and western walls. The original stonework of the building still visible above. The floor is of poured concrete.

First floor (Primary Phase)

This is a rectangular room orientated north to south sandwich measures 5.18m long by 4.52m in width. The ceiling is open to the roof pitch and once again exhibits the same roof construction (see garage description). However, this time the *A-frame truss* is comprised entirely of sawn timbers.

The southern elevation has a single loft hatch opening with a black painted wooden door. The elevation is comprised of stone rubble bonded by lime mortar. The northern elevation comprises of the top of the eaves upon which the truss is situated, on a wooden wall plate. This western elevation is comprised of stone rubble bonded by lime mortar which has been painted white, but is otherwise featureless. The southern elevation mirrors the northern elevation. The floor is comprised of wooden boards and at the western end, there is a staircase construction permitting access to the ground floor.

Secondary phase construction (redbrick, built)

Ground floor room

This is a rectangular room orientated east to west, and which measures 5.69m long by 4.67m wide. The ceiling is comprised of 16 timber joists which are orientated north to south, have been painted white and which support the wooden board floor above.

The eastern elevation has a single door opening of the left-hand end, which permits access to the garage. This has a black painted, plank and batten door, set within a black painted moulded frame. To the right of this there is a boarded staircase construction, this has been stained dark brown, but has a doorway opening permitting access to the staircase at the right-hand end.

Furthermore, mounted on this timber staircase construction is a set of stout timber hooks, which presumably will once for horse tack. The northern elevation is dominated by a dual chimney breast construction located to the left of centre. Due to a diagonal projection into the room, two separate fireplaces have been formed both with dark stained timber mantles. The fireplace construction appears to be of red brick, which has been painted white. To the right of this there is a small, two glass pane fixed window with modesty glass set within white painted wooden frame.

The western elevation is of red brick and was previously rendered and painted white. Apart from this, the elevation is featureless. The southern elevation is dominated by the large double door construction, these are reinforced and braced doors, which have been painted dark grey. To right of this, there is a single doorway opening, permitting access to the exterior with a narrow window light above. The floor is of poured concrete. The room is currently used as a storage area. But due to the presence of the chimneys may once have served as more grooms' quarters.

First floor

This is a large, rectangular room orientated east to west, and which measures 5.69m long by 4.67m wide. Approximately 2/3 along the length of the room, and forming a partition, is a wooden board wall, which creates a narrow western room and the larger eastern room (which contains the staircase).

The ceiling is once again open to the roof pitch exhibiting a similar roof construction. However, there is no truss supporting the roof, which is supported primarily by a wooden wall plate and to substantial sawn timber purlins. Also visible within the centre of the apex of the roof is the wooden cupola/ventilation tower.

The southern elevation has been rendered and painted white in the upper portion and yellow in the lower portion, but apart from this is featureless. The same is true for the northern elevation however, to the right of centre, there is a projecting red brick construction, which presumably was once the chimney stack, although now this is truncated and above it, the roof appears to have been repaired suggesting the chimney was removed.

The western elevation has a single centralised window opening consisting of a fixed window unit. This has four glass panes and is set within black painted wooden frames. The walls are painted white. The southern elevation has been painted white to the left, and yellow to the right. It has two casement window units offset to the right of centre. These windows are identical and consist of four glass panes, the two on the right-hand side form and opening light, and is set with black painted wooden frames. The left-hand window has been bifurcated, although superficially by part of the timber partition, which forms the divider within the room. The floor is of wooden boards.



Plate 20: Ground Floor, western room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southeast - 1.00m scale



Plate 21: Ground Floor, log store, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - no scale



Plate 22: Ground Floor, Main Garage, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the northwest - 1.00m scale



Plate 23: Ground Floor, Main Garage, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the east - 1.00m scale



Plate 24: Ground Floor, Main Garage roof, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southwest - 1.00m scale



Plate 25: Ground Floor, Main Garage, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the west - 1.00m scale



Plate 26: Ground Floor, eastern room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southwest - no scale

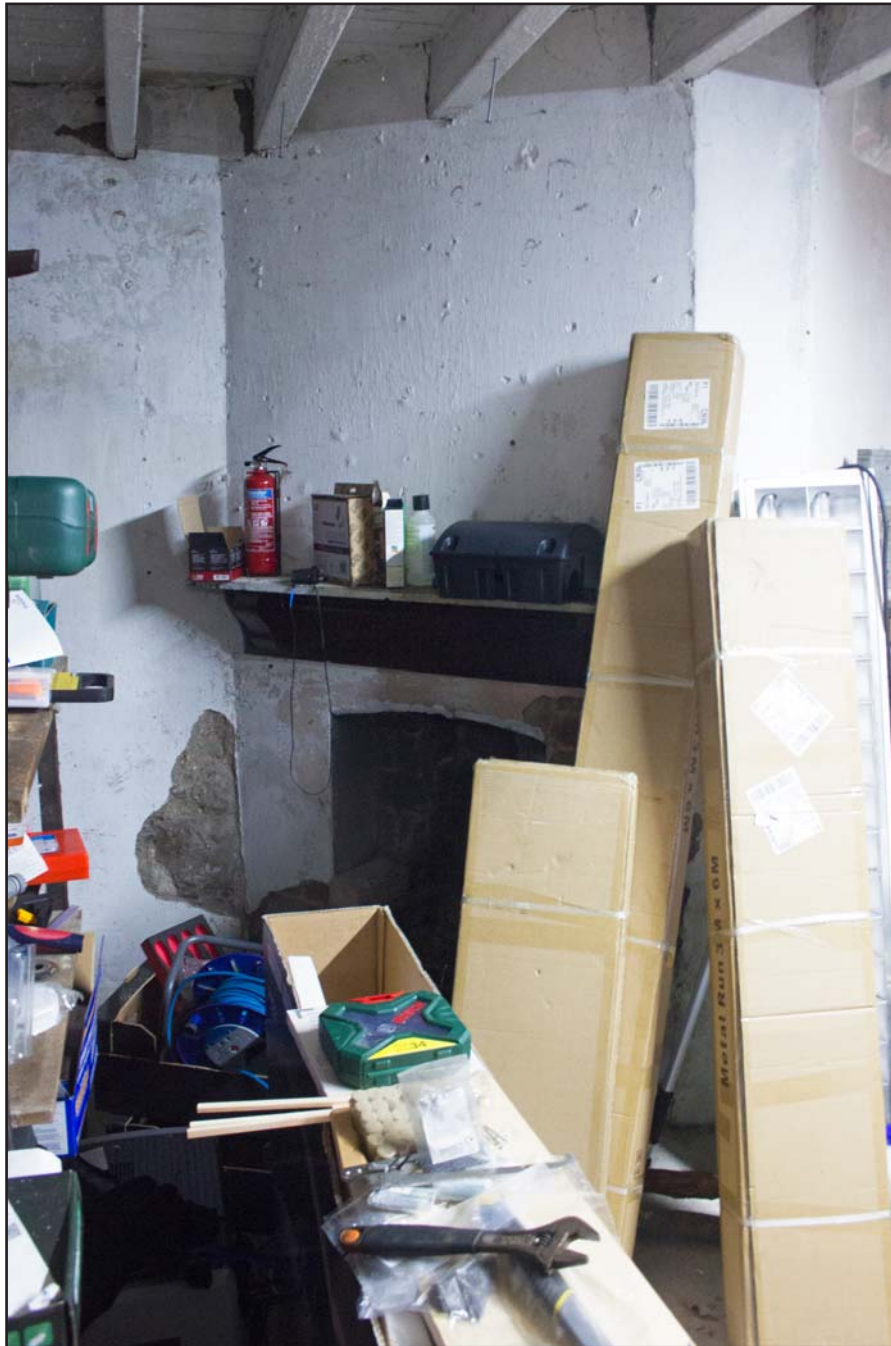


Plate 27: Ground Floor, eastern room, (western fireplace) of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - no scale

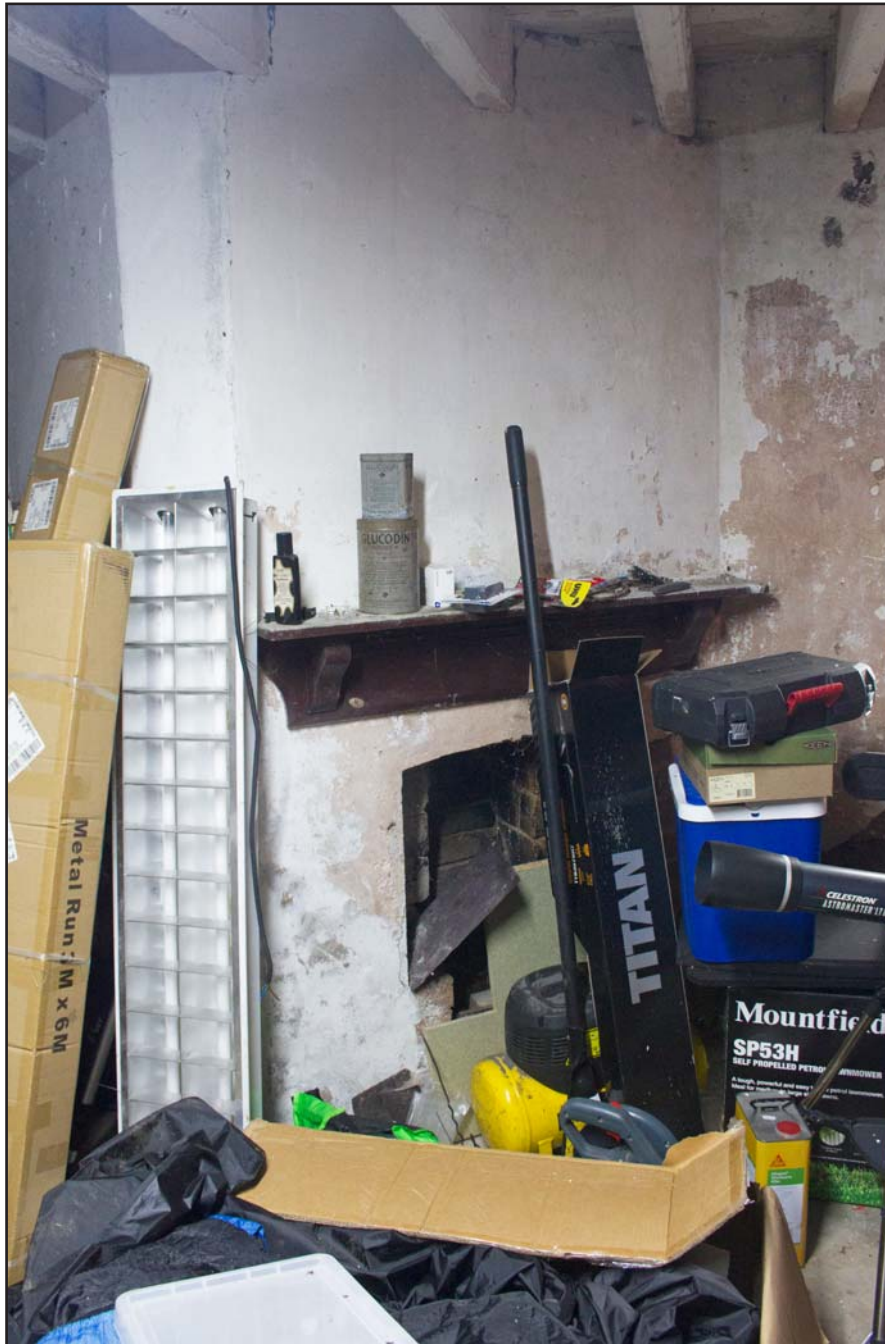


Plate 28: Ground Floor, eastern room, (eastern fireplace) of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - no scale



Plate 29: Ground Floor, eastern room, (staircase) of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southeast - no scale



Plate 30: Ground Floor, Main Garage, (staircase) of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southeast - no scale



Plate 31: First Floor, western room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the east - no scale



Plate 32: First Floor, eastern room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the northwest - 1.00m scale



Plate 33: First Floor, eastern room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the southwest - 1.00m scale



Plate 34: First Floor, eastern room, of Coach House at Hafod Ynys, Rhewl, Denbighshire - from the south - 1.00m scale

9.0 CONCLUSION

The former Coach House that is the subject of this *Level 2 Building Record* is located to the north of the the grade II Listed Building *Hafod Ynys* (ref: 22162), Rhewl, Denbighshire LL15 1UL. The site is associated with a single record entry within the CPAT HER (**PRN 97075**) which reads;

“Farm complex identified on OS 2nd edition 25-inch map. Likely to contain traditional farm buildings (CPAT, Farms and Farmsteads, 2021)”

The former Coach House adjacent to Hafod Ynys in Rhewl, represents a building which evolved from a purely functional space, to a slightly more prestigious building encompassing accommodation for staff associated with the stables. Initially designed as a coach house and stable, the building underwent notable structural alterations in response to evolving societal and functional pressures, following some of the widely practiced architectural conventions of its era, albeit within the context of its intermediate significance as a heritage asset.

Constructed in distinct phases, the primary phase showcases finely dressed vernacular stone, representative of its early 19th-century origins, within the regional setting of the Vale of Clywd. Conversely, the secondary phase introduces red brick bonded by Portland cement, a hallmark of later construction between 1879 and 1900. Notable alterations between phases, such as the infilling of a former cart bay and the addition of a large doorway entrance, denote the building's adaptive nature.

Externally, the southern elevation demonstrates the building's practical transformation, with former openings repurposed to accommodate the evolving needs of the facility. The eastern elevation, representing the second phase, exhibits common bond red brick construction and modest fenestration, possibly reflecting the more utilitarian value, assigned to the quartering of staff.

Internally, the primary phase reveals divided spaces delineated by red brick partitions and timber plank walls, suggesting the occupancy and utilization of the building evolved over time, transitioning from its original function as animal stabling to potentially accommodating grooms. This transformation may have coincided with possible extensions to the building, hinting at changes in its layout and purpose, potentially extending towards the northern direction (unconfirmed due to it bordering a neighbour property). Conversely, the secondary phase features a spacious ground floor room, possibly utilized for storage or additional accommodation, with distinct chimney constructions indicating former heating provisions.

On the first floor, the primary phase offers a simple loft space, presumably a hayloft, while the secondary phase presents a divided room configuration, indicative of changing spatial requirements or domestic arrangements. In essence, the former Coach House at *Hafod Ynys* represents an example of regional architectural heritage, exemplifying the adaptive nature of historic buildings and their intrinsic connection to evolving societal needs. Through careful documentation and analysis, its architectural narrative has been recognised, offering insights into the interplay between these built environments and the community of lower gentry they once served.

The level 2 historic building record was undertaken by Josh Dean BA archaeologist at Aeon Archaeology on the 17th February 2024. Upon approval from the Client and the CPAT Development Control Archaeologist the report will be archived with the CPAT Historic Environment Record (HER); the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW); and a copy retained at *Aeon Archaeology, Chester* under project code **A0470.1, Report no# 0457**.

10.0 SOURCES

Maps.

Ordnance Survey Open Data maps SJ NE16, NW16, SE16, SW16.

Secondary Sources

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APPENDIX I – PROJECT DESIGN



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**Coach House at Hafod Ynys, Rhewl,
Denbighshire LL15 1UL
(24/2023/0213)**

**Project Design for Level 2 Building
Survey**

February 2024 v1.0



Project Code: A0470.1
Planning Ref: 24/2023/0213
Event PRN: 218144



æon archaeology

Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (24/2023/0213)

February 2024 v1.0

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1.0 PROJECT BACKGROUND

Aeon Archaeology has been commissioned by Paul Kinlan, hereafter 'the Client', to produce a Project Design (PD) for carrying out a level 2 building survey of a former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire LL15 1UL (centred on **NGR SJ 10894 60602**), hereafter 'the Site', (figures 01-03).

Full planning permission (**ref: 24/2023/0213**) was secured by the Client from Denbighshire Council, hereafter 'the Council', on the 10th November 2023 for the *Conversion of coach house and garages to form an office and additional living accommodation/annexe*. The following archaeological condition has been applied to the permission:

Condition 9

No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.

The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 8RP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670).

On approval by the Local Planning Authority, project data must be submitted and approved for inclusion in the Clwyd-Powys Archaeological Trust's Historic Environment Record [CPAT HER]. For any questions regarding this submission process, please contact the HER Team at her@cpat.org.uk. The full digital archive must also be submitted and approved for inclusion within the National Monuments Record, RCAHMW or the Archaeology Data Service, ADS.

Reason: In the interests of investigation and recording of historic buildings.

The Development Management Archaeologist (DMA) at the Clwyd-Powys Archaeological Trust (CPAT) made the following consultee comments as part of the application and in their role as archaeological advisors to the Council:

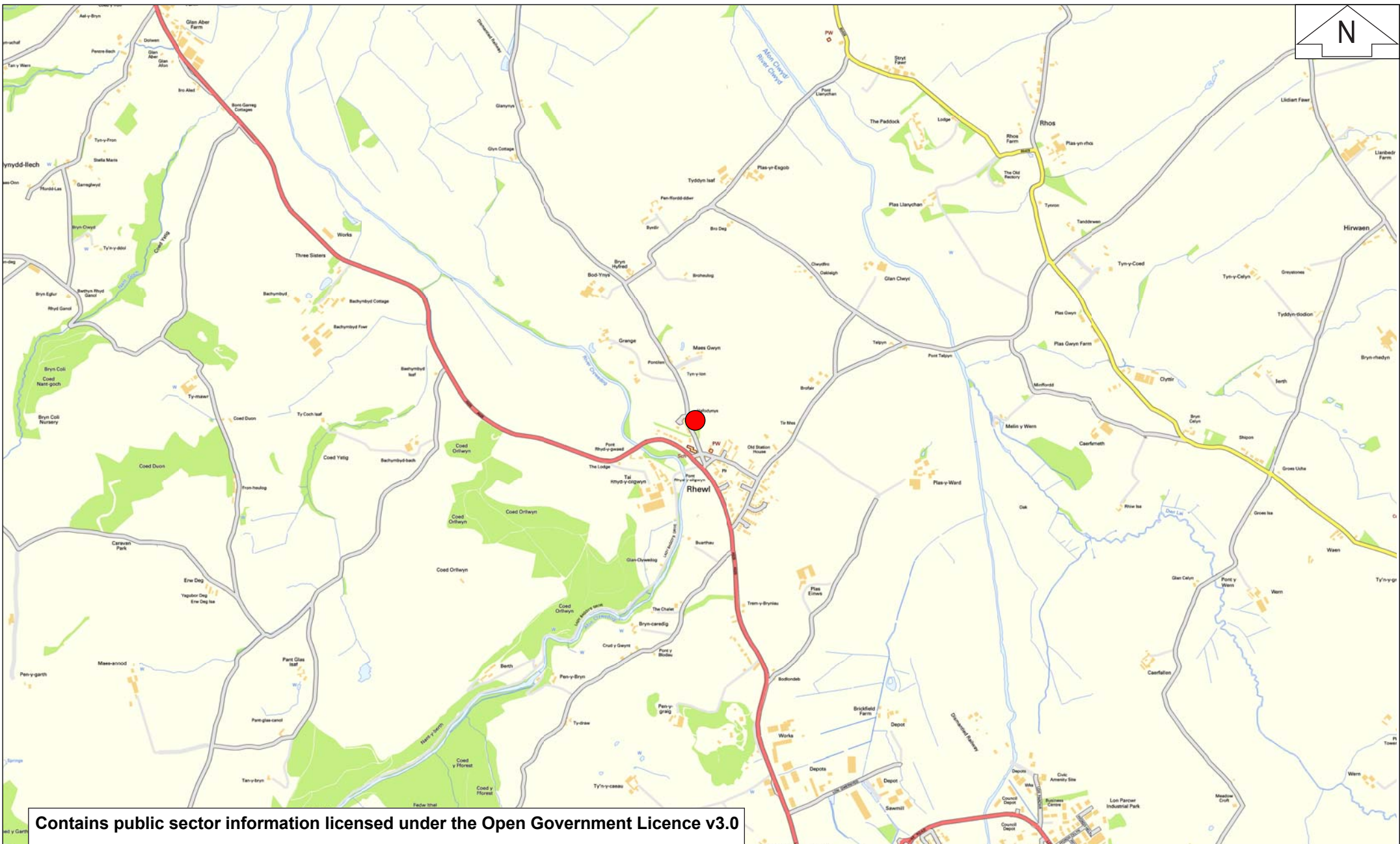
Information held within the Regional Historic Environment Record indicates that the buildings to be converted are visible on the Tithe and early Ordnance Survey Mapping of the area and have attributes which are of at least vernacular interest. Therefore, we would recommend that an appropriate level of archaeological building recording is completed to chronicle the buildings in their current form. In this case we would advise that a Level 2 historic building survey is completed in accordance with the Planning Policy Wales (Feb 2021) and TAN 24 (May 2017) guidance, and an appropriate condition is supplied below.

The Listed Building, Hafodynys (PRN 97075, LB 22162) directly south of the coach house may be impacted by the works and the Built Heritage Conservation Officer should also be consulted on this application.

The Level 2 survey would include a detailed photographic survey, written descriptive survey, phased plans of buildings development and a measured survey using annotated architects plans where these are available, or a new survey where architects plans are not of sufficient detail.

This PD details the aims and objectives of the project and the methods by which they will be met in order to meet the spirit and intent of the archaeological condition of permission 24/2023/0213.

This design and all subsequent mitigation will conform to the guidelines specified in Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) & *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Chartered Institute for Archaeologists, 2020).



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Figure 01: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:20,000 at A4.



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Figure 02: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:5,000 at A4.



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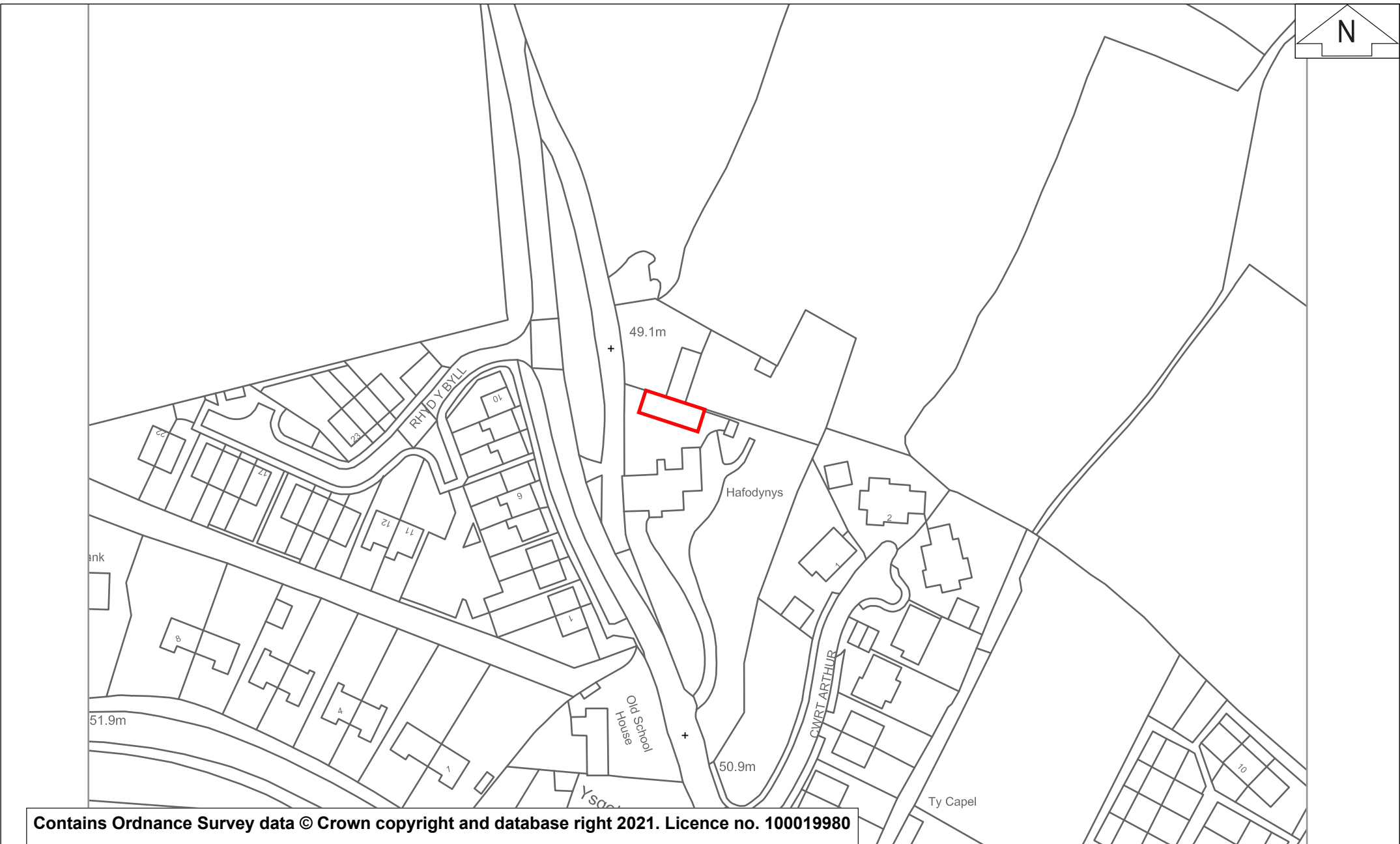


Figure 03: Location of Coach House at Hafod Ynys, Rhewl, Denbighshire LL15 1UL (SJ 10894 60602). Scale 1:1,250 at A4.



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2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 REQUIREMENTS

3.1 Building Record

The requirements are for an archaeological building record of the former Coach House prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the renovation works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DMA at CPAT has requested that the building record be roughly commensurate with the Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

Both the exterior and the interior will be viewed, described and photographed. The record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based.

The detailed photographic record will consist of Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2106) elements:

written account: 1-3, 6

drawings: sometimes 1, sometimes one or more of 2-7

photographs: 1,2,4

4.0 METHOD STATEMENT

4.1 Photographic Record

4.1.1 Written Account

The written account will include:

A written account will be prepared to include the buildings' precise locations along with details of any statutory or non-statutory designations. The date of the record, the name(s) of the recorder(s) and the proposed location for the archive of the record will also be confirmed.

Information on the Buildings' types and purposes, historically and at present, materials, and possible date(s) and phasing, in so far as these are apparent from an appropriate inspection will also be presented as a summary statement. The written account will summarise the Building's form, function, date and sequence of development. The names of architects, builders, patrons and owners will be given if known.

The written record will be completed via Aeon Archaeology pro-formas.

4.1.2 Photographs

The photographic record will include:

- a. All photographs will be given a unique number to be used for identification. This unique number should be used in the labelling of digital images.
- b. A general view or views of the building (in its wider setting or landscape).
- c. The building's external appearance. Typically a series of oblique views will show all external elevations of the building, and give an overall impression of its size, shape and immediate setting. Where individual elevations include complex historical information it may also be appropriate to take views at right-angles to the plane of the elevation.
- d. The overall appearance of the principal rooms and circulation areas.
- e. Any external or internal detail, structural or decorative, which is relevant to the buildings design, development and use, with scale where appropriate.
- f. A photographic register detailing the photo number, the location and direction of each view, and the composition of the shot.
- g. Photograph locations and directions of view should be marked on plans of each building separate photographed
- h. Photographs should be of archive quality using a digital SLR (minimum 12 megapixel)
- i. Photographs, where appropriate (i.e. not general shots) should include a clearly visible, graduated metric scale.
- j. Photographs should be adequately lit and not blurry. Please check all photos before leaving the survey area and before submitting the final report and retake any blurred or poorly lit photos.

A Digital SLR (Canon 600D) set to maximum resolution with appropriate photographic scale will be

used throughout.

4.1.3 Drawn Record

The drawn record will include:

- A site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

Caution will be exercised in using drawings created for other purposes, particularly for estate agents particulars etc, as these often rationalise plans and remove irregularities which may be key to understanding a building. Detailed plans made by surveyors for purposes of design or alteration may form a satisfactory basis for drawings which aim to show the evolution of a building, but their accuracy will need to be confirmed and they will sometimes need to be adapted to show a greater range of historical evidence.

4.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.
- An updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy will be included.

5.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

A draft copy of the report will be produced within six weeks of the completion of the fieldwork and will include an updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy. A copy of the report will be sent to the Client and the DMA at CPAT for comment prior to finalisation of the report and dissemination. Digital copies of the report and archive will be sent to the regional HER and the DMA at CPAT, with the original paper and digital archive being deposited with the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW) for long term archiving. Furthermore, a summary of the project will be sent to *Archaeology in Wales* for publication.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2018 updated 2022) including the translation of a non-technical summary into the medium of Welsh.

6.0 DIGITAL DATA MANAGEMENT PLAN

6.1 Type of study

A level 2 building survey of a former Coach House located adjacent to Hafod Ynys, Rhewl, Denbighshire LL15 1UL (centred on NGR SJ 10894 60602).

6.2 Types of data

Photographs, photograph register, scaled drawings.

6.3 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

All written registers, pro-formas, and scaled drawings scanned as *.PDF* files.

6.4 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.

3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

6.5 Data quality and standards

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the PD. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

6.6 Managing, storing and curating data.

All digital data will be organised into Aeon Archaeology proformae project file systems and backed up to the cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

6.7 Metadata standards and data documentation

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

6.8 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of the scanned (.PDF) archive, photographic plates (.TIF), and metadata (.xlsx) (.accdb) to the RCAHMW; and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to Acronis Cyber Protect.

6.9 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

6.10 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

6.11 Governance of access

The decision to supply research data to potential new users will be via the associated website request (RCAHMW, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

6.12 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

6.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

6.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCIfA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

6.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

7.0 PERSONNEL

The work will be managed by Richard Cooke BA MA MCIfA, Archaeological Contractor and Consultant at Aeon Archaeology. Full details of personnel involved, with *curricula vitae*, can be supplied upon request.

8.0 MONITORING AND TIMING

Monitoring visits can be arranged during the course of the project with the Client and with the DMA at CPAT.

9.0 HEALTH AND SAFETY

Aeon Archaeology has a Health and Safety Policy Statement which can be supplied upon request. Furthermore, site-specific Risk Assessments and Method Statements are compiled and distributed to every member of staff involved with the project.

10.0 INSURANCE

Liability Insurance – Export and General

- Employers' Liability: Limit of Indemnity £10m in any one occurrence
- Public Liability: Limit of Indemnity £2m in any one occurrence
- Legal Defence Costs (Health and Safety at Work Act): £100,000

The current period expires 07/09/24

Professional Indemnity Insurance – Export and General

- Limit of Indemnity £500,000 any one claim

The current period expires 07/09/24

11.0 GENERAL

All project staff will adhere to the *Code of Conduct of the Chartered Institute for Archaeologists*.

The project will follow the requirements set down in the *Standards and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures (2020)* prepared by the Chartered Institute for Archaeologists.

A Method Statement and Risk Assessment will be prepared prior to the commencement of fieldwork and circulated to all staff concerned.

