

Royal Hotel, Bridge Street, Llangollen Heritage Impact Statement January 2024



Report by: Trysor

For: Knights Construction Ltd

January 2024



Royal Hotel, Bridge Street, Llangollen Heritage Impact Statement January 2024

By

Jenny Hall, MCIfA & Paul Sambrook, MCIfA
Trysor

Trysor Project No. 2023/918
CPAT HER Event PRN - 215549

For: Knights Construction Ltd

January 2024

38, New Road
Gwaun-cae-Gurwen
Ammanford
Carmarthenshire
SA18 1UN
www.trysor.net
enquiries@trysor.net



Cover photograph: The Royal Hotel in Bridge Street, Llangollen, looking southeast.

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Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

JENNY HALL MCIfA

Jenny Hall

PAUL SAMBROOK MCIfA

Paul Sambrook

Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

38, New Road,
Gwaun-cae-Gurwen
Ammanford
Carmarthenshire
SA18 1UN
01269 826397

82, Henfaes Road
Tonna
Neath
SA11 3EX
01639 412708

www.trysor.net

enquiries@trysor.net

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Jenny Hall (BSc Joint Hons., Geology and Archaeology, MCIfA) had 12 years excavation experience, which included undertaking watching briefs prior to becoming the Sites and Monuments Record Manager for a Welsh Archaeological Trust for 10 years.

She has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

Paul Sambrook (BA Joint Hons., Archaeology and Welsh, MCIfA, PGCE) has extensive experience as a fieldworker in Wales. He was involved with Cadw's pan-Wales Deserted Rural Settlements Project for 7 years.

He has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

Event Record PRN – CPAT HER

PRN	CPAT 215549
Name	Royal Hotel, Bridge Street, Llangollen Heritage Impact Assessment January 2024
Type	HERITAGE ASSESSMENT
NGR	SJ2154042111
Easting	321540
Northing	142111
Summary (English)	At the end of 2023, Trysor wrote a revision of a Heritage Impact Assessment undertaken between May 2019 and February 2022 in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. A proposed change to part of the consented development required a revision to the original report. © Trysor 2024
Crynodeb (Cymraeg)	Ar ddiwedd 2023, ysgrifennodd Trysor adolygiad o Asesiad o'r Effaith ar Dreftadaeth a gynhaliwyd rhwng Mai 2019 a Chwefror 2022 mewn perthynas â chynigion i adnewyddu ac ehangu Gwesty'r Royal, Bridge Street, Llangollen, Sir Ddinbych. Roedd angen diwygio'r adroddiad gwreiddiol ar gyfer newid arfaethedig i ran o'r datblygiad a ganiatawyd. © Trysor 2024
Description	At the end of 2023, Trysor wrote a revision of a Heritage Impact Assessment undertaken between May 2019 and February 2022 in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. A proposed change to part of the consented development required a revision to the original report. © Trysor 2024
Sources	Trysor, 2024, Royal Hotel, Bridge Street, Llangollen Heritage Impact Assessment November 2024
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Summary

This report assesses how proposed variations to a consented planning application 03/2022/0173 and Listed Building consent 03/2022/0174 would impact on the historic fabric of the Royal Hotel.

Previously Trysor examined the significance of the Royal Hotel, Bridge Street, Llangollen (Listed Building 1105) and the impact of proposed changes upon that significance (Trysor, 2022a & Trysor, 2022b). The inn is located within the Llangollen Conservation Area, the Vale of Llangollen Historic Landscape and within the extensive buffer zone of the Pontcysyllte Aqueduct World Heritage Site. It has been listed since 1989 for its group value with other early buildings along Bridge Street.

No detailed survey of the building has ever been undertaken, but it is believed to be of Georgian origin. The earliest wing of this complicated, multi-period hotel was a smaller inn known as the King's Head inn, which flourished through the patronage of the famous Ladies of Llangollen during the late-18th century. They had close links with the inn until they passed away in the 1820s. It is said that those wishing to visit the Ladies were obliged to stay at the King's Head, therefore many prominent visitors to Llangollen frequented the place. The hotel was known as the King's Head for much of the first half of the 19th century, even after the large "New Hotel" was added to the rear of the original inn circa 1815. Further significant additions were made during the second half of the 19th century and by the 1860s the hotel was commonly known as the Royal Hotel.

A rapid internal inspection of the hotel undertaken for this assessment indicates that the entire complex has undergone significant changes over time, both internally and externally. Few original features of significance are immediately recognisable and much of its earlier fabric is hidden behind modern décor.

The Royal Hotel has been closed in since December 2019 and the building is no longer in pristine condition. The refurbishment and modernisation of the hotel is now proposed to bring it back into use, enhancing its historical importance. The proposals include the replacement of part of a late 20th century wing with a modern spa facility overlooking the river and making internal changes to the earlier parts of the hotel to make the complex suitable for modern use and to ensure it meets modern building and safety regulations. The sensitive upgrading of the hotel complex will ensure it remains in use to keeping its heritage and traditions as one of the principal hotels in Llangollen alive for a third century.

The building has undergone considerable changes during the 19th and 20th centuries when earlier refurbishments were implemented, which has created a complex arrangement of elements of different dates with many internal and external modifications, the details of which are largely hidden behind modern plaster and paint. There will be a loss of historic fabric caused by some of the

modification but the loss is proportionate and on balance the variations to the consented scheme will impact less on historic fabric. The proposed modifications offer an important opportunity to observe and record this hidden fabric as the development proceeds which will allow for a better understand the history of the building and will inform future management of the hotel.

It is suggested that a targeted building recording should be considered as an appropriate response to mitigate against the impacts of the development, the details of which are included in this report.

The chosen new colour scheme for the exterior of the complex has been discussed in detail with Cadw and the local authority Conservation Officer and will be true to the historic management of the buildings. The hotel façades on Bridge Street and Castle Street will be decorated with a light colour, with architectural detail picked out with a darker colour retaining a unified approach on this face.

The décor of the rear elevations to the north will show subtle variation, with each wing painted in a different, light colour but unified across the façades by the use of the same dark colour to pick out architectural details, doorways and windows. This will maintaining the architectural integrity and character of each wing yet make each historic phase of the complex readily identifiable and readable.

The new residential block which will stand between the 20th century facade on Bridge Street and the river bank. It will be a new, modern element, replacing the rear of the mid 20th century block. It will not be in line with the Georgian hotel but will follow the river and angle away from the Georgian block, so it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

1. Introduction

1.1 This Heritage Impact Statement has been prepared for Knights Construction Ltd in relation to proposed changes to the Royal Hotel, Bridge Street, Llangollen (Listed Building number 1105), see Figure 1. The Royal Hotel was originally known as the King's Head. It has origins in the later 18th century as one of the historic inns and hotels of Llangollen town, with close links to the renowned Ladies of Llangollen.

1.2 The Royal Hotel has been closed since December 2019 and Knights Construction Ltd had consent to refurbish and modernise the property, mindful of its historic character, in order to create a destination hotel with an enhanced offer, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

1.2.1 As the market has changed it is now desirable to change part of the plans to a different offer, changing the spa area to a mix of residential and holiday accommodation.

1.3 This Heritage Impact Assessment (HIA) documents the objectives of the proposal, the significance of the building, the impact of the proposed refurbishment and the reasoning behind the preferred options.

1.3.1 A separate document considers the heritage impact on the conservation area and other designated historic assets which might be affected by the proposals. (Trysor, 2023)

1.4 The HIA methodology from Cadw (Cadw, 2017) has been worked through with the client and the project team over a period of time from May 2019 to the present day.

1.5 Trysor have studied the history of the hotel complex, undertaken two internal inspections as well as three external inspections. The phasing of the different wings of the hotel were identified and made available to the client at an early stage to inform choices. The development proposals have been prepared with that knowledge and full cognisance has been given to the history of the complex and its heritage sensitivity as a Grade II Listed Building (Listed Building Number 1105).

1.6 Trysor fed into the draft proposals for the consented development before they were finalised, and discussed each physical modification on site with the architect at that time. This included the choice of style of the exterior décor, which the client also discussed with Cadw and the local authority's Conservation Officer to ensure its acceptability. This ensured that the proposals evolved in a way that minimised impacts on the historic fabric of the complex during a time of major refurbishment.

1.7 In order to inform this report on the proposed variation to the consented application, the proposed variation plans have been considered and assessed as to whether there is no change, the change is different but has the same impact on the building fabric, or whether there is a new change. In Tables 1 to 4 new changes are highlighted.

2. Methodology

2.1 The process outlined in "*Heritage Impact Assessment in Wales*" (Cadw, 2017b) in order to assess the impacts on the historic asset has been followed.

This process has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

2.2 In order to inform this process, Trysor made two site visits to examine the interior of the Royal Hotel at SJ2154042111. The first was made May 16th, 2019 for Knights Construction Ltd. The second was made on January 7th, 2022, accompanied by architect James Pass of C4 Projects. Full access was granted to the building and a non-intrusive, visual survey was undertaken of those parts of the building which would be subject to significant change under the proposed refurbishment.

2.2.1 The details of the proposed changes to the hotel complex were discussed during and after each of these site visits, focused on the potential impacts on the historic fabric of the complex. Discussions informed the developing proposals and alterations made if necessary.

2.2.2 A photographic record of relevant features inside the hotel was made for the purposes of this report only. This examination does not amount to a building survey, as outlined in guidance (Historic England, 2016).

2.2.3 During both site visits, and a third visit to Llangollen on November 22nd 2021, the exterior and setting of the hotel were also assessed by Trysor.

2.2.4 No alterations have taken place to the hotel yet under the consented planning application and listed building consent and the information gained at those visits has been used for this revised heritage impact assessment.

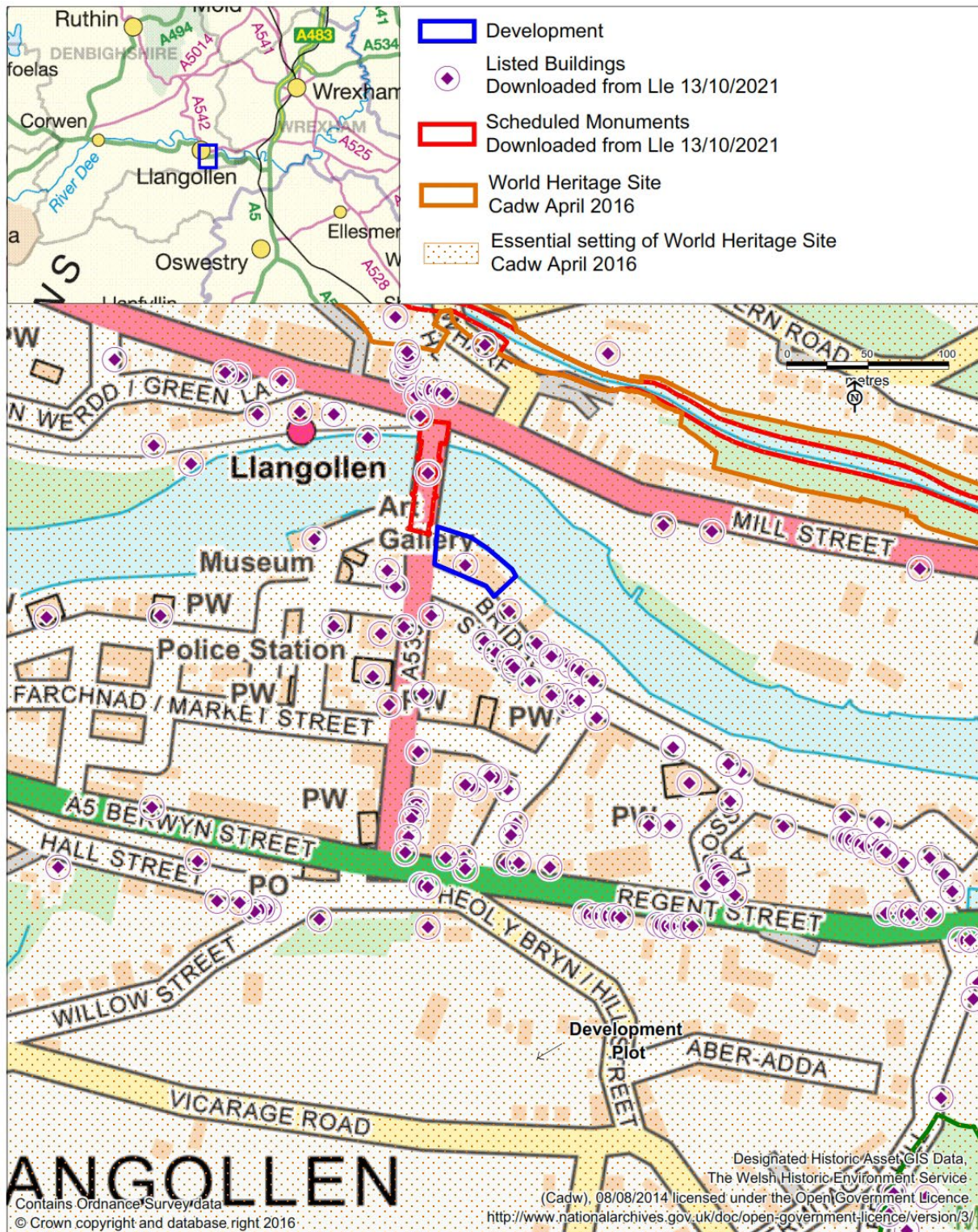


Figure 1: Location of the Royal Hotel, Bridge Street, Llangollen at SJ2154042111, showing listed buildings, scheduled monuments and the World Heritage Site within Llangollen.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The objective of the proposed changes is to refurbish the now closed Royal Hotel, which is located on the northern side of Bridge Street, Llangollen.

3.2 The proposed redevelopment will enable The Royal to become a destination hotel with an upgraded offer which will in turn assist in boosting the local economy.

3.3 The proposal is to undertake a full refurbishment and reordering of the hotel, creating new spaces within the interior to allow for a more organic flow through the building.

3.3.1 The existing riverside external decking will be replaced.

3.3.2 In the proposed variation the new-build will be for private 1- or 2-bedroomed apartments with each having its own private balcony to look out across the scenic riverside view.

3.3.3 Due to the historic importance of the hotel, consultation by the project team with CADW and the Local Authority's Conservation Officer helped inform the HIA for the consented scheme, and this revision to the HIA, to ensure sensitivity towards the existing fabric of the building.

3.4 This assessment has used the consented demolition drawings:

- GA Sub-Basement & Basement Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-B1-DR-A-1301 Rev P1) - Received by LPA 22 February 2022
- GA Ground Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-00-DR-A-1302 Rev P1) - Received by LPA 22 February 2022
- GA First Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-01-DR-A-1304 Rev P1) - Received by LPA 22 February 2022
- GA Second Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-02-DR-A-1305 Rev P1) - Received by LPA 22 February 2022
- Roof Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-R1-DR-A-1305 Rev P1) - Received by LPA 22 February 2022
- GA External Elevations Demolition Plan as Proposed Sheet 01 (Drawing No. 20115-C4P-AV-ZZ-DR-A-1307 Rev P1) - Received by LPA 22 February 2022
- GA External Elevations Demolition Plan as Proposed Sheet 02 (Drawing No. 20115-C4P-AV-ZZ-DR-A-1308 Rev P1) - Received by LPA 22 February 2022
- Internal Courtyard Sections as Existing and Demolition (Drawing No. 20115-C4P-AV-ZZ-3D-A-1309 Rev P1) - Received by LPA 22 February 2022

3.5 It also used the revised drawings for the changes to the proposal:

- TY-1329-PL03-PROPOSED FIRST FLOOR PLAN.pdf
- -1329-PL04-PROPOSED SECOND FLOOR PLAN.pdf
- TY-1329-PL05-PROPOSED ELEVATIONS.pdf
- TY-1329-SU01-EXISTING BASEMENT FLOOR PLAN.pdf
- TY-1329-SU02-EXISTING GROUND FLOOR PLAN.pdf
- TY-1329-SU03-EXISTING FIRST FLOOR PLAN.pdf

- TY-1329-SU04-EXISTING SECOND FLOOR PLAN FRONT ELEVATION.pdf
- TY-1329-SU05-EXISTING ELEVATIONS.pdf
- TY-1329-PL01-PROPOSED BASEMENT FLOOR PLAN.pdf
- TY-1329-PL02-PROPOSED GROUND FLOOR PLAN.pdf

3.5 The above drawings were compared with new drawings for the proposed variations from the client:

- TY-1329-PL01 Proposed Basement Floor Plan
- TY-1329-PL02 Proposed Ground Floor Plan
- TY-1329-PL03 Proposed First Floor Plan
- TY-1329-PL04 Proposed Second Floor Plan
- TY-1329-PL05 Proposed Elevations

- TY-1329-SU01 Existing Basement Floor Plan
- TY-1329-SU02 Existing Ground Floor Plan
- TY-1329-SU03 Existing First Floor Plan
- TY-1329-SU04 Existing Second Floor Plan Front Elevation
- TY-1329-SU05 Existing Elevations

4. Heritage Impact Assessment Stage 2: Understand the significance of the historic asset

4.1 The 18th century: The King's Head

4.1.1 The origins of the Royal Hotel appear to lay in the 18th century, possibly earlier, but are not recorded. It is not known if the site of the present hotel was occupied by an inn known as the King's Head during this period. The earliest reference to an inn of that name dates to 1752, when a King's Head was listed in the Register of Alehouses for Llangollen.

4.1.2 A lithograph of Llangollen Bridge by Jukes and Walmsley published in 1794 shows the site of the present hotel but does not show any building recognisable as the Kings Head, see Figure 2. A building shown close to the southern end of the bridge appears to be on the site of the present hotel but this was probably removed during the 19th century and no trace of it now survives. This building is probably the one shown on a 1791 estate map of Llangollen (Cadw, 2016, p.75).



Figure 2: Llangollen Bridge, a lithograph by Francis Jukes and Thomas Walmsley, 1794. This depiction appears to be accurate as it corresponds with a 1791 Survey of Llangollen reproduced by Cadw in "Llangollen - Understanding Urban Character" (Cadw, 2016, p.75). This shows that the Kings Head seen on later maps had not been built as late as the early 1790s. The single building at the end of the bridge is on the site of the present hotel and may represent a forerunner of the Kings Head.



Figure 3: Llangollen Bridge, by J. Widnell and based on an original drawing by Edward Dayes, dating to 1796. This shows a similar arrangement at the site of the King's Head/Royal Hotel compared to the Jukes and Walmsley image of 1794, with a building next to the bridge at its southern end. The building to its left with the tall chimneys might stand on or close to the 19th century site of the King's Head.

4.2 The early 19th century: The Ladies of Llangollen and Expansion

4.2.1 The King's Head was undoubtedly a busy inn at the beginning of the 19th century. Regular auctions and sales were advertised here and an important connection to the famous Ladies of Llangollen had evidently developed. The "Ladies" were Lady Eleanor Butler and Sarah Ponsonby, who had moved to Llangollen in 1778 and had established their home at Plasnewydd, at the edge of town. By the end of the 18th century, they had become something of an object of curiosity and many visitors came to Llangollen to visit their eccentric home and the beautiful gardens they had created there.

4.2.2 The King's Head became an important link between the rather reclusive Ladies and the outside world. The exact nature of the link is not certain, but it was evidently significant. Captain Jenkin Jones visited the inn in 1819 and recorded that *"The inn was started in opposition to the Hand by the Lady Butler and Hon. Miss Ponsonby having taken offence at the disinclination of the landlord of the Hand to meet the general wish of visitors by keeping a Harper. Here I was received by Mary's favourite Welsh tune, 'The March of the Men of Harlech'".*

4.2.3 The reference to a harpist is interesting as it was evidently common for harpists to be employed by the local inns to entertain visitors during this period. The composer Felix Mendelssohn stayed at the King's Head early in the 19th century and complained bitterly about the standard of music played by the harpist. He was one of many celebrated figures who came here during the early 19th century, many drawn by the opportunity to visit the celebrated Ladies of Llangollen, who had put the town on the map.

4.2.4 The matter is also touched upon in the diaries of Anne Lister of Shibden Hall, Halifax, Yorkshire, who came to Llangollen with her aunt in July 1822 with the intention of visiting the Ladies. Lister is remembered as "Gentleman Jack" and has been the subject of a BBC drama series. She stayed at the King's Head and made some interesting notes during her stay. She refers to the inn as "the King's Head, New Hotel, Llangollen, patronized by Lady Eleanor Butler and Miss Ponsonby..." Lister also records that anyone wishing to visit the Ladies of Llangollen was expected to stay at the King's Head and send a note to Plasnewydd to inform the Ladies that the visitor wished to visit them or their house and gardens. A return note would be delivered to the King's Head by the Ladies to confirm the details of the visit.

4.2.5 This account is backed up by a reference contained in Volume 1 of the British Magazine of 1830. An anonymous traveller who had visited them at their home at Plasnewydd wrote; *"In order to assist the family of a person who had served them, she (Lady Eleanor) established them in an inn in the village of Llangollen and caused it to be understood that they would admit no visitors who did not stop at that house. The first question Lady Eleanor asked me, was, what inn I had put up at. I was aware of the question, and able to give a*

satisfactory answer. "It is well," said she, smiling, "or we would not have let you in!"

4.2.6 Lister's reference to the "King's Head, New Hotel" undoubtedly refers to the fact that the inn had been expanded considerably in 1815 when a large Georgian hotel had been constructed on the site (see Plate 3, 4 & 5). The property was a part of the wealthy Llantysilio estate of Thomas Jones at the time of the expansion. The Ladies corresponded with Thomas Jones and his daughter regularly and in September 1815 they sent a letter to Miss Jones which makes reference to her fathers "kind and liberal conduct towards them with respect to the King's Head Inn". The significance of this comment is not known.

4.2.7 Thomas Jones died in 1821 without leaving a will. The Llantysilio estate soon came into the possession of a Major Harrison. In 1827 the Ladies of Llangollen wrote to the major to draw his attention to "a heap of rubbish in the way of carriages etc., in the street before the King's Head Inn at Llangollen and hoped that it could be removed "without inconvenience" to Major Harrison. This letter again suggests that the Ladies of Llangollen had maintained a keen interest in the affairs of the King's Head.

4.2.8 Although the King's Head was a property belonging to the Llantysilio estate, it was leased to one Joseph Davies during this period. In June 1815, Joseph Davies placed an interesting advert in the Chester Chronicle, which *"begs leave most respectfully to inform the Nobility, Gentry and public in general, that he always has a well stored larder, the choicest of Wines and Spirituous Liquors and excellent Malt Liquor"*. The advert also states that the hotel has *"well aired Beds, commodious Stables, Lock up Coach Houses, and careful Ostlers."*

4.2.9 It is probable that the advert was placed by Joseph Davies around time of the expansion of the King's Head with the intention of reminding regular clientele of the qualities of the place. This was the time that the "New Hotel" was built alongside the old King's Head. This fine Georgian building still forms a substantial part of the modern hotel and appears as a prominent building in many prints of Llangollen and its famous bridge during the middle part of the 19th century. It consists of a square, three-storeyed building with cellars which overlooks the river Dee to the north, see Figures 4, 5 and 6.

4.2.10 Adjacent to the southern side of this large hotel block is a narrower, three-storeyed building, again with cellars, which included the main entrance to the hotel. It is possible that this building is in fact older than the 1815 "New Hotel" although it is impossible to judge on present evidence whether this is the case.



Figure 4: A view southeastwards from Llangollen Bridge in 1830, by T. Tunbridge, shows the large Georgian building "New Hotel" overlooking the River Dee to the far right of the image.



Figure 5: A depiction of the King's Head by W. Crane, dating to 1835. This shows again the large Georgian hotel built here in 1815 – the "New Hotel" mentioned by Anne Lister. The narrow building at the far-left side of the image is probably the earlier King's Head building, facing Bridge Street and still includes the main entrance into the modern hotel.

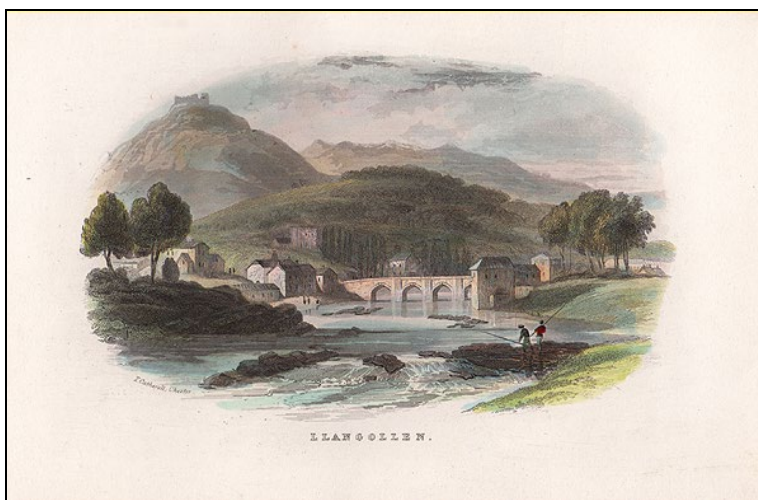


Figure 6: A depiction of Llangollen in 1837 gives another representation of the buildings at the King's Head, to the right of the bridge. It may be a copy of an earlier print as the earlier King's Head building is shown but not the "New Hotel" added in 1815.

4.2.11 Joseph Davies passed away in 1822 and his will shows that his possessions went to his wife, Elizabeth Davies. She took on the management of the King's Head for the next phase in its history. In 1824 she married one Robert Lloyd, and the couple ran the hotel until Robert Lloyd's death in 1845. Elizabeth Lloyd was widowed for the second time but continued to run the King's Head until her own death in 1854. Her will shows that the hotel was left to her two sisters, the son of one of whom, Thomas Davies, managed the business during the 1860s.

4.2.12 The Lloyds managed the King's Head during an important time in the history of the inn. In 1832, Princess Victoria, the future Queen briefly visited Llangollen and stopped at the King's Head. The visit was exceptionally brief and the royal party merely stopped to change the horses for their carriages. Nevertheless, it is generally said that this visit resulted in the name of the inn being changed to the Royal Hotel.

4.2.13 The change of name from the King's Head to the Royal Hotel may indeed have been inspired by the visit of Princess Victoria, but it was by no means a rapid change. The inn is listed as the Kings Head and Royal Hotel in Pigot's Trade Directory of 1835, but it continued to be commonly known as the King's Head for many years afterwards. When Robert Lloyd died in 1845 his will stated that he was of the King's Head. Elizabeth Lloyd died in 1854 and at this point newspapers begin to refer more regularly to the inn as the "King's Head Royal Hotel" (Chester Chronicle, April 8th 1854) or the Royal Hotel (Wrexham Advertiser, March 3rd, 1855). The King's Head is still encountered in newspaper references throughout the 1850s, although the name "King's Head and Royal Hotel" appears to also have been in use through the mid-19th century. In 1867 the place is called the Royal King's Head Hotel (Manchester Courier and Lancashire General Advertiser, September 18, 1867). By 1880 the use of the name Royal Hotel appears to have replaced the use of King's Head completely and the 1881 parish census records the property simply as the Royal Hotel.

4.2.14 Another possible change in the character of the King's Head during the 1830s may be that it became a coaching inn. Stables and coach lock-ups were advertised here by Joseph Davies as early as 1815 but it is notable that the 1832 Pigot's Trade Directory names only the Hands Hotel as a coaching inn in Llangollen. The 1835 edition of Pigot's Directory again names the Hands Hotel as a coaching inn, but also states that the London coach known as *Nimrod* called at the King's Head and Royal Hotel every day at half-past three. The Hands Hotel and the King's Head are both listed as Posting Houses in 1832 and 1835. Posting Houses were places where horses or coaches could be hired and mail also dropped off for delivery.

4.2.15 The Llangollen parish tithe survey of 1840 maps the Kings Head and Royal Hotel as it was during the time of Robert and Elizabeth Lloyd, see Figure 7. The tithe map shows a range of buildings around a central courtyard, similar

to the present layout, but the buildings which stood within the complex have certainly changed dramatically since that time. It is likely that the buildings closest to the bridge forming the western part of the complex were all replaced later in the 19th century. They can be seen on early photographs to have been low buildings, possibly stables and related buildings, see Figure 8. On the tithe map the hotel is shown in parcel number 81. Parcel number 82 to the south side of Bridge Street (now the area of the War Memorial Garden) was an area of pasture owned by Robert Lloyd. It is possible that horses were stabled in this area.

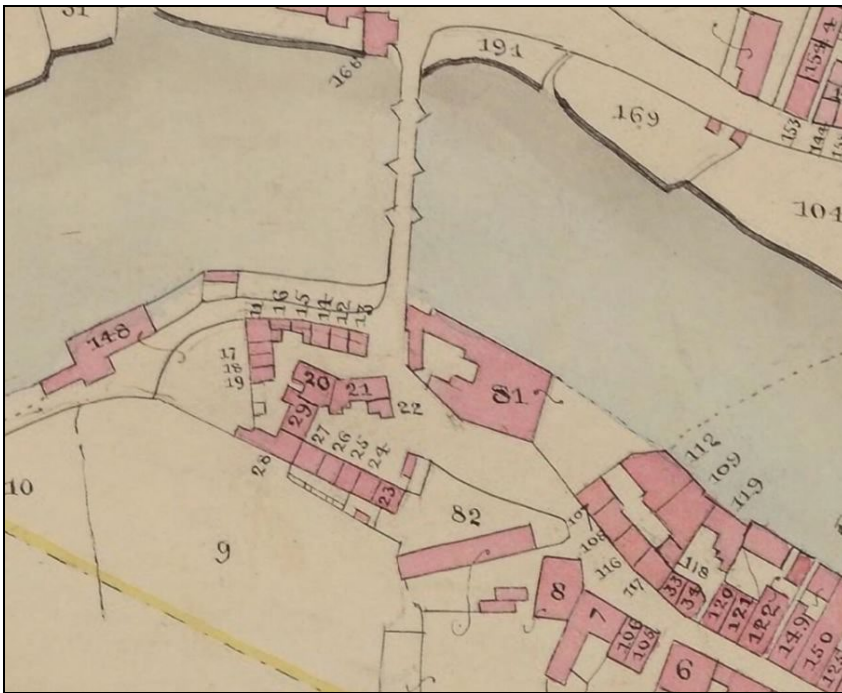


Figure 7: An excerpt from the parish tithe map showing the King's Head and Royal Hotel (parcel 81). Parcel 82 was an area of pasture owned by Robert Lloyd of the King's Head.



Figure 8: The King's Head and Royal Hotel complex (ringed) from a rare aerial view of Llangollen, presumably taken from a balloon, said to date to 1859. Note the tall Georgian buildings at the eastern part of the complex and the low buildings closer to the bridge. The latter buildings were removed later in the 19th century. This is probably close to the arrangement shown on the 1840 tithe map.

4.3. A New Identity and Further Expansion: Later Victorian times.

4.3.1 With its identity firmly established as the Royal Hotel, the history of the establishment from the time of the 1859 aerial photograph onwards can be traced through photographs as well as maps and documents. This is a period when the modern hotel truly begins to take shape.

4.3.2 Without doubt, the most significant development in this period was the construction of a whole new section of the hotel along what is now Castle Street, close to the river bridge. The tithe map shows us that Castle Street did not exist in the mid-19th century, but by the 1870s there had been some key changes made to the streetscape in this area.

4.3.3 The 1874 1:2500 scale Ordnance Survey map shows that the layout of the hotel had changed, see Figure 9. Castle Street had appeared and along its eastern side a new wing of the hotel had been built, running from the bridge to the junction with Bridge Street and around the corner along the northern side of Bridge Street to join up with the previously existing Georgian building at the main entrance to the hotel.



Figure 9: An excerpt from the 1874 1:10560 Ordnance Survey map. The hotel by this time is closer to its present arrangement, with the new wing added around 1870 shown along Castle Street and its junction with Bridge Street. Castle Street was a new road and the river bridge had been widened by this time.

4.3.4 The addition of the Victorian wing to the western side of the complex seems to have followed the sale of the Llantysilio estate in 1867. The auction was held at the "Royal King's Head Hotel" and included the sale of the hotel itself. Within a few years, certainly by the time the 1874 Ordnance Survey map had been surveyed and drawn, the addition had been completed. It is thought that the same architect was used as designed the new Town Hall, which stands nearby on the west side of Castle Street (visible on the map in Figure 9).

4.3.5 The addition of the Victorian wing gave the Royal Hotel a new focus, as the elaborate architecture formed a striking feature when viewed from the

north and the river bridge. The Georgian hotel was now hidden from view from the west for the first time since it was constructed, although it still retained its grandeur and was also still the main entrance to the hotel.

4.3.6 Two interesting photographs reflect the changes of this period. The first dated to around 1870 shows the old Llangollen Bridge before it was widened in 1873, see Figure 10. At the edge of the photograph the end of the old building attached to the King's Head and Royal Hotel is just visible. The impact of the new Victorian wing on views at that end of the widened bridge is evident when the early photograph is compared with the scene presented in the second photograph, see Figure 11, which is undated but is presumed to date to the period around 1890.



Figure 10: A photograph of the bridge around 1870 with the single-story building of the Royal Hotel to the right-hand side.

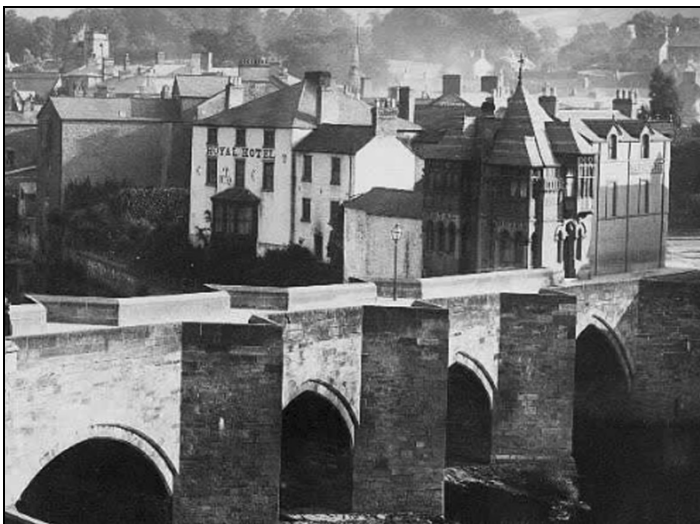


Figure 11: A photograph of the bridge from the opposite side of the river taken around 1890 and showing the three-storey, Victorian wing of the hotel occupying the position of the former low building. The low, windowless building to its left in the photograph may well be shown on late 18th century prints. To the left of this is a structure which is shown in Figure 8 but appears to have had an additional storey added or been completely replaced. Note that the Victorian building along Castle Street has dormer windows but no downstairs windows and the first-floor windows are blind. This part of the Victorian hotel was changed significantly in the early 20th century.

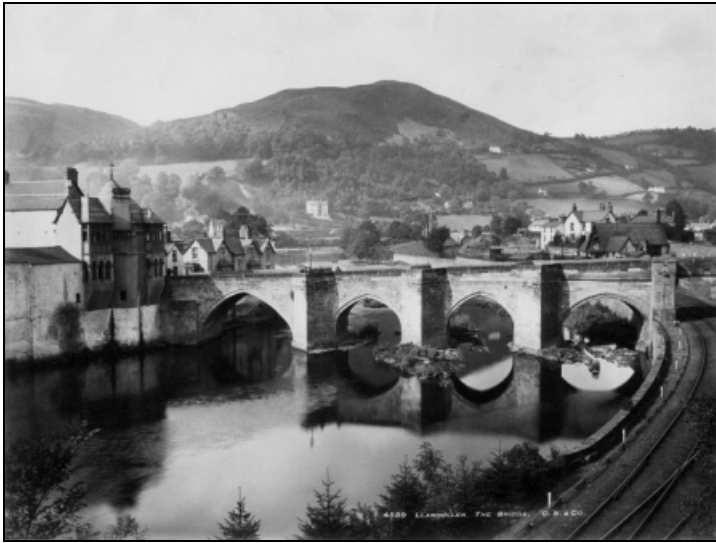


Figure 12: A view looking westward towards the bridge, dating to 1890, shows the low building adjacent to the Victorian wing of the Royal Hotel was still in place. Note that there is no riverside balcony at this time and the foundations of this part of the hotel define the edge of the river.

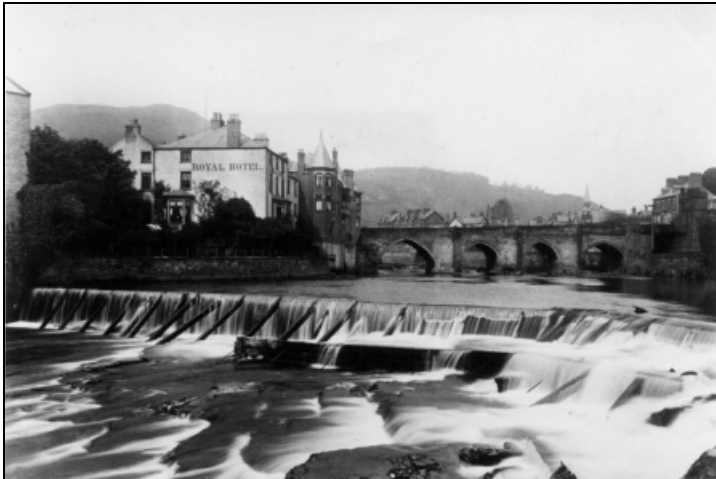


Figure 13: Another westward view, dating to 1900, shows that the old building shown in Plate 11 has been replaced by a new section to the hotel, which has a tower with a conical roof, helping it blend in with the Victorian wing of the 1870s.



Figure 14: The Royal Hotel in 1937, with its northern façade now instantly recognisable when compared to the modern building. The most modern extension would not be added until the 1960s, when a new wing was added to the eastern side of the Georgian hotel. The riverside decking had also not yet appeared at this stage and garden panting can be seen in front of the Georgian part of the hotel. Modern doors have now replaced the windows seen centre left in the image at the lower level of the building below the Royal Hotel sign.

4.3.7 The northern side of the hotel, visible from the river bridge and the north bank of the river has always been the most photographed and painted part of the establishment, despite the fact that the main entrance has always been to the southern side of the building, on Bridge Street. Few images of the southern side of the hotel are known, none of which appear to survive from the pre-photographic era. One important photograph, which probably dates to the period around 1890-1900 shows the hotel when viewed from Castle Street, looking at the junction of Castle Street and Bridge Street, see Figure 15. This shows the southern and western sides of the Victorian range of c.1870 as well as the façade of the Georgian hotel, where the main entrance was and remains located.



Figure 15: The southern side of the Royal Hotel c.1890-1900. This is a rare view of this side of the hotel in earlier times. It shows the southern side of the Georgian hotel, including the main entrance, to the right. The rest of the building dates to c.1870, including the large doorway giving access to the courtyard inside the complex. There have been key changes since the photograph was taken. A modern extension was added to the Georgian hotel, at the extreme right of the photograph. The windowless and doorless ground floor to the left was changed during the early decades of the 20th century (see Figure 16).

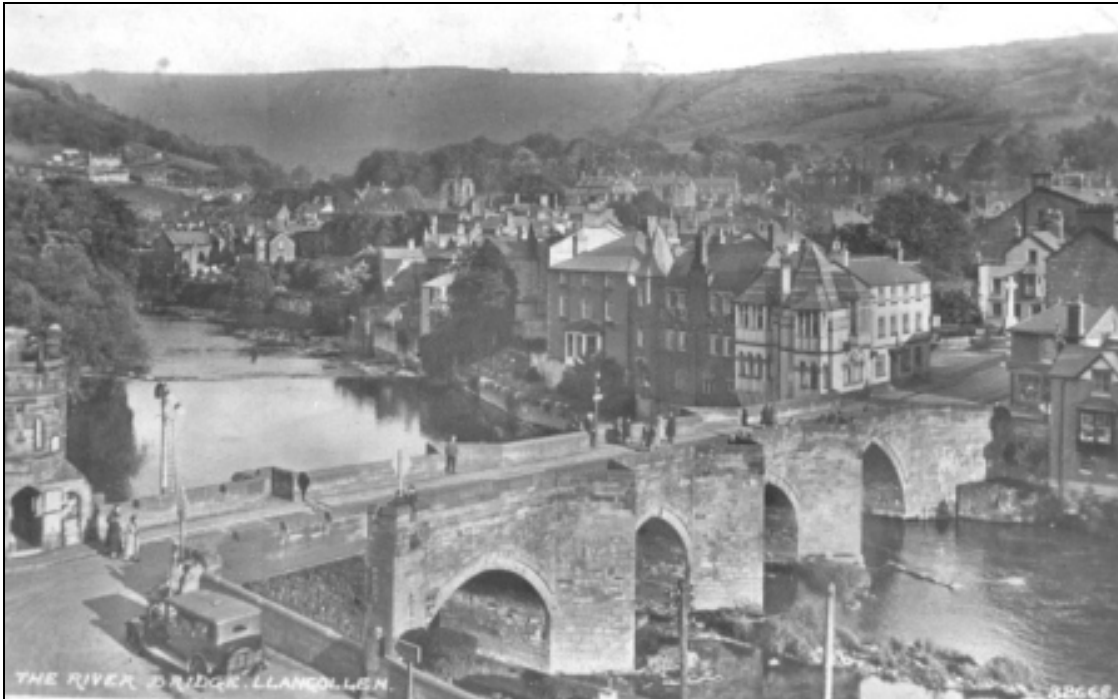


Figure 16: The hotel viewed from the opposite side of the river Dee. This view dates to 1920 and shows how the western side of the Victorian wing had been changed in the early 20th century. The previously windowless ground floor facing Castle Street has had three windows and a door added. The two blind windows of the first floor had been replaced by four new windows and the two dormer windows which were on the second storey had been removed and replaced by four windows also (see Figure 15 for former view). The décor of the northern façade is different for different phases of the building.



Figure 17: Viewed from the river bridge in 2019, the western side of the hotel along Castle Street is seen to have been further changed in modern times, with a streetside café operating. The ground floor windows are now large, shop-front type windows. This change appears to date to the later 20th century, certainly post-1960, based on photographic evidence. The external décor of the northern façade was now uniform.



Figure 18: The southern side of the Royal Hotel in 2019. The three sections seen here include a modern wing to the right, the Georgian hotel façade with main entrance in the centre and the southern end of the Victorian wing, beneath the surviving dormer windows, to the left.



Figure 19: The façade of the Georgian hotel in 2019.



Figure 20: A view of the southern side of the Royal Hotel in 2019, looking north from the War Memorial Garden.



Figure 21: A view of the Royal Hotel from Castle Street. The four dormer windows of the Victorian wing are prominent but there were originally six, as two identical windows were originally present in the roof to the left of the photograph.



Figure 22: The streetside café in Castle Street. Because of the loss of the dormer windows and the insertion of the shop windows and upstairs windows this section of the Victorian building no longer blends into the sections to the left or right, which were built at the same time.



Figure 23: The mock-Gothic architecture of the section of the Victorian hotel at the end of the bridge stands out as the most elaborate and eye-catching part of the modern hotel complex. Undoubtedly this was a conscious decision by the architect as this is the part of the building closest to the bridge and most viewed by visitors.



Figure 24: The popular view of the hotel, seen from the bridge. The Georgian Hotel of 1815 stands to the left. The late Victorian addition bears the name of The Royal to the centre, where a pair of modern doors have replaced earlier windows to give access to the modern riverside decking. The Gothic architecture of the 1870 wing is seen to the right, adjacent to Castle Street.



Figure 25: The Royal Hotel viewed from the opposite side of the river in November 2021. The rear section of the 20th century wing of the hotel had been removed during May 2021, leaving the space seen to the left side of the hotel here.



Figure 26: A view of the hotel from the opposite riverbank in November 2021. The 20th century wing has been removed, revealing the western side "New Hotel" of 1815 although many of the openings are of more recent date. This space will be filled again by the proposed spa building.



Figure 27: A ground floor plan of the hotel showing the phases of the complex as presently understood.

4.4 Statement of Significance

4.4.1 The Royal Hotel is a substantial hotel complex which contains distinct sections which date from the late 18th century to the later 20th century. The architecture of the complex reflects this multi-period heritage, with characteristic Georgian elements found adjacent to Victorian and 20th century additions.

4.4.2 The hotel is situated in a prominent, riverside location, adjacent to the historic Llangollen Bridge on the River Dee. The crossing has medieval origins and the current bridge probably has its origins in the 16th or 17th centuries and is protected as a scheduled monument, DE026, and a listed building, 1080.

4.4.3 The hotel complex is designated as a listed building, 1105. It is considered of national importance for its group value in the context of its proximity to other commercial buildings of 18th and 19th century origin along Bridge Street and Castle Street. Despite many modifications to the complex being made during the 19th and 20th centuries, the hotel has high architectural interest as different parts of the complex reflect the architecture of different periods, from the Georgian through to the very Late Victorian.

4.4.4 The heritage value of the hotel is high because of its association with a number of important historic figures. Most notable is its early association with Eleanor Butler and Sarah Ponsonby, the famous "Ladies of Llangollen", who patronised the original inn, the King's Head, at this location in the later 18th century. A strong tradition has it that those who came to Llangollen in the hope of visiting the Ladies of Llangollen in the late 18th and early 19th century were obliged to stay at the Kings Head, which the Ladies supported until their deaths in the 1820s. Later visitors to the Kings Head included figures such as the composer Felix Mendelssohn (1829) and the Princess Victoria (later Queen Victoria) who appears to have stopped briefly here to change horses during a visit to North Wales in 1832.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals.

5.1 Basement and Sub-Basement Level (see Tables 1a & 1b and Plan 1)

The Basement of the Royal Hotel is not truly subterranean, although it lies below the street level of the adjacent Castle Street and Bridge Street. It forms the lower floor of the Victorian parts of the complex, opening onto the central courtyard (which is accessed via a ramp leading down from Bridge Street). The Sub-Basement is a subterranean area accessed via steps leading below the western side of the "New Hotel" built circa 1815 and is located beneath the Georgian parts of the complex, including the original Kings Head and the "New Hotel". It also extends beneath the extension to the western end of the original Kings Head building which may date to the earlier phases of the hotel at its lower levels.

5.1.1 Overview of proposed changes. The proposed works mainly include the removal of some wall sections and the infilling of others, predominantly in the Victorian and Georgian areas of the complex. In two areas there would be modifications of existing stairs to improve access. The modification B2 would impact on the stairs which lead from the mid-Victorian section at the northwest corner of the hotel down into the later Victorian section. B24 would see modifications to the stairs used to give access to the Georgian basement beneath the "New Hotel". Discussions as to how to limit impact in these areas have fed into the proposal. The date of each of these stairs is not known and they may be non-original features or have been modified during the 20th century, removing any original fabric. Watching briefs at both locations would help establish their origins and record the character of any presently hidden original details but there is no objection to the modifications themselves.

5.1.2 The overall loss of wall fabric is not considered significant, and there is not a loss of original features as far as the building is understood. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster.

5.1.3 However some of the proposed changes will affect walls which are undated or not understood, as their fabric is presently obscured beneath paint and plaster. To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection, including the analysis of mortar and brick samples. This will help add to the record of the history of the hotel and inform future management of the building.

Table 1a: Basement Details

Trysor Number	Date of fabric	Type of Change	Description of Change	Trysor Mitigation/Comment
Basement				
B1	Mid-Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal. This wall has been changed in the past with new openings inserted.
B2	Victorian and/or Modern	D5	Existing Non-Original staircase to be removed to allow for installation of new staircase layout	Modification to stairway. The date of the stairs is not clear and there is a need to check and potentially record fabric before removal.
B3	Mid-Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal.
B4	Victorian or Modern	D3	New/Enlarged Structural. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal.
B5	Late Victorian or possibly Edwardian	D4	Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability.	Record fabric before removal.
B6	Late Victorian or possibly Edwardian	D4	Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability.	Record fabric before removal.
B7	Late Victorian or possibly Edwardian	D3	Change no longer proposed	No action
B8	Late 20 th century	D6	Area of existing Non-Original 1980's masonry extension to be	No action.

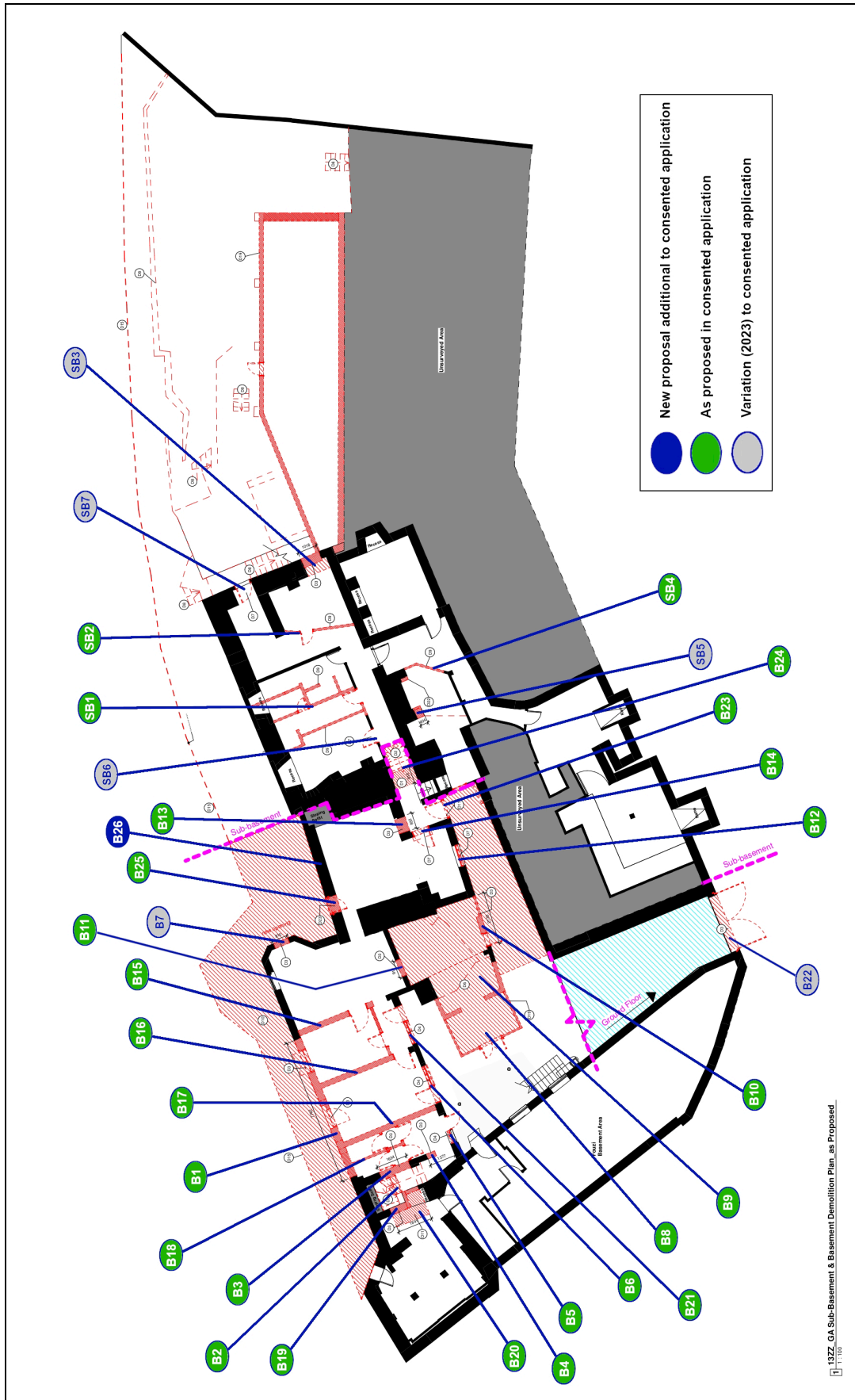
			demolished and removed.	
B9	Probable 20 th century	D6	Existing Non-Original floor slab to be removed to allow for installation of new insulated floor slab in accordance with Approved Document L.	Record wall fabric before removal.
B10	Late Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal to help date.
B11	Late Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal to help date.
B12	Late Georgian or Early Victorian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Retain external stone window sill if possible.
B13	Late Georgian or Early Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal to help date.
B14	Late Georgian or Early Victorian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
B15	Late Victorian or 20 th century	D3 & D4	Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. / Existing Door/Window to be carefully removed from existing Structural Opening, to form new access route or to enlarge floorspace/usability.	May be modern but the fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century.
B16	Late Victorian or 20 th century	D3 & D4	Existing wall to be carefully removed to form new opening with new lintel to Structural	May be modern but the fabric needs checking and potentially recording before removal as they

			Engineer's details. Existing Door/Window to be carefully removed from existing Structural Opening, to form new access route or to enlarge floorspace/usability.	may be Late 19 th or early 20 th century.
B17	Late Victorian or 20 th century	D3	Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	May be modern but the fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century.
B18	Probably 20 th century	D3	Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	These internal walls appear modern but their fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century.
B19	Mid-Victorian and/or later	D3	Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	This internal wall appears to be 19 th century but their fabric needs checking and potentially recording before removal as they may in part be 20 th century.
B20	Mid-Victorian and/or later	D11	Existing door/window to be removed from existing Structural Opening	Modifications to top of stairway where there is a modern floor but this may mask earlier, Mid-Victorian fabric. Check and potentially record anything early which is revealed.
B21	Late Victorian or 20 th century	D4	Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability	Record fabric before removal to help date.
B22 & GF25	Probably Modern	D3	This gate way is now to be blocked up, rather than have the gates replaced	The present gate appears to be modern but there is a need to check hinges and framing for earlier fabric and record if necessary.
B23	Early Victorian	D11	Existing door/window to be removed from existing Structural Opening	Probably a modern door but check frame and fabric and potentially record any earlier features.
B24	Probably Georgian	D1 & D2	Existing Concrete & Stone Floor to be excavated to	Record fabric before and during removal. Watching

			allow existing staircase to sub-basement to be moved backwards to increase head height Non-Original in accordance with Approved Document M. Existing Concrete & Stone Floor to be excavated to allow existing staircase to sub-basement to be moved backwards to increase head height Non-Original in accordance with Approved Document M.	brief on excavation work.
B25	Probably Early Victorian	D23	Existing Window or Door to be replaced as per details on window schedule	Check and potentially record fabric before removal.
B26 NEW	Probably Early Victorian		New window to be created	Record fabric before removal to help date.

Table 1b: Sub-basement Details

Sub-basement				
SB1	20 th century	D7 & D9	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. / Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
SB2	20 th century	D9	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
SB3	Georgian	D3	Change no longer proposed	No action
SB4	20 th century	D9	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
SB5	Georgian	D22	From the plans it appears that the impact on the chimney has been removed. However, the insertion of the lift will render the chimney inaccessible	Record fabric before removal.
SB6	Modern	D7	Change no longer proposed	No action.
SB7	Georgian	D7	Change no longer proposed	No action.



Plan 1: An annotated plan showing the location of the modifications proposed for the basement and sub-basement levels, including variations to the consented application and new additions to the consented application.



Figure 27: The top of the stairs connecting the ground floor and basement at the northwest corner of the mid-Victorian wing of the hotel, which will be replaced (B2). It is thought to be non-original, and its surroundings appear modern, but its fabric should be checked during removal to ensure the modern fabric does not obscure an earlier arrangement.



Figure 28: (right above): The central courtyard is at basement level. The brickwork is late 19th century in date and appears to have been built between the publication of the 1880 and 1900 1:10560 Ordnance Survey maps. There are also 20th century elements, such as the block seen to the right of centre, which do not appear on the 1900 Ordnance Survey map. The facing doors will be widened (B5 & B6) and their fabric should be recorded before removal.



Figure 29: The steps leading from basement level down to the sub-basement level, which lies beneath the Georgian "New Hotel", B24. The date of this access point is not known but the steps appear to be relatively modern concrete. Work to modify this access point to the sub-basement to increase headroom may reveal original fabric and should be monitored.

5.2 Ground Floor (see Table 2 and Plan 2)

5.2.1 The ground floor of the hotel complex includes areas dating from the late 18th century (the original Kings Head) where the main entrance to the hotel is still located. North of this is the early 19th century “New Hotel” section of the complex, whilst to the west and northwest are mid-Victorian and late-Victorian wings.

5.2.2 Overview of proposed changes. The proposed works mainly include the removal of some wall sections and the infilling of others, in predominantly Victorian and Georgian areas of the complex. One of the most significant changes would be modification GF23, which would see a wide new doorway opened through the eastern wall of the Georgian “New Hotel” part of the complex. This proposal would however improve access to an important part of the ground floor and counterbalance a similar doorway opened through the same wall in the 20th century. It would not be an unprecedented modification as most of the windows and doorways through the eastern side of the hotel are not original features but have been added and altered over the years.

5.2.3 The overall loss of fabric is not considered significant in a building which has already undergone considerable modifications. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster.

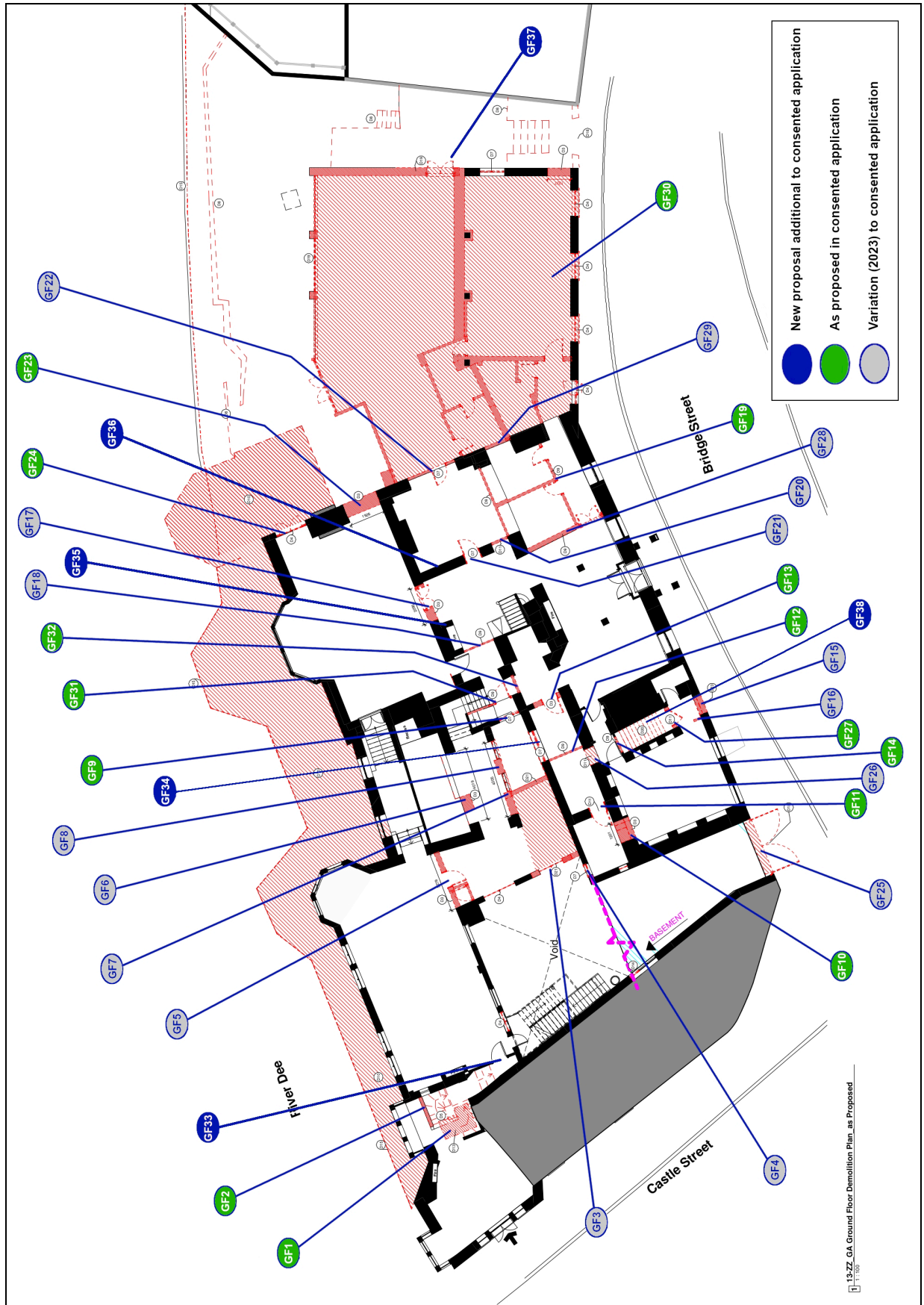
5.2.4 To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection, including the analysis of mortar and brick samples. This will help inform future management of the hotel.

Table 2: Ground Floor Details

Ground Floor				
GF1	Mid-Victorian possibly Modern replacement	D13	Existing Suspended Timber Floor to be cut back to allow installation of new timber staircase in accordance with Approved Document M and K.	Check and record and historic fabric before removal.
GF2	Probably modern but may be Late Victorian	D5	Existing Non-Original staircase to be removed to allow for installation of new staircase layout	Check and record and historic fabric before removal.
GF3	May be Late Victorian or Edwardian	D21	Change no longer proposed	No action
GF4	May be Late Victorian or Edwardian	D7	Change no longer proposed	No action
GF5	May be Late Victorian or Edwardian	D3	Change no longer proposed	No action
GF6	Early Victorian	D3	Change no longer proposed	No action
GF7	Late Victorian or Edwardian	D21	Change no longer proposed	No action
GF8	Late Victorian or Edwardian	D3	Change no longer proposed	No action
GF9	Late Victorian or Edwardian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
GF10	Mid-Victorian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Record fabric before removal
GF11	May be Victorian	D11	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action
GF12	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
GF13	May be Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to	Record fabric before removal.

			Structural Engineer's details.	
GF14	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
GF15	Mid-Victorian	D23	Change no longer proposed	No action
GF16	Mid-Victorian or Modern	Not given	Change to the original proposal – doorway to be blocked up	Record fabric before removal
GF17	Georgian	D3	Change no longer proposed	No action
GF18	Modern	D19	Wall is now being retained but doorway blocked Area of existing Non-Original 1980's masonry	No action
GF19	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
GF20	Probably modern	D11 (sic?)	Change no longer proposed	No action.
GF21	Modern door in Georgian wall	D7	Change no longer proposed	No action.
GF22	Modern	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action
GF23	Georgian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal. This new opening will counterbalance a similar opening at the other end of the wall and improve access.
GF24	Modern	D4	Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability.	No action. This is a 20 th century doorway.
GF25 & B22	Probably Modern	D18	This gate way is now to be blocked up, rather than have the gates replaced	The present gate appears to be modern but there is a need to check hinges and framing for earlier fabric and record if necessary.

GF26 Doorway now to be retained	Mid- Victorian	D11	Change no longer proposed	No action
GF27	Modern doorway	D11	Existing door/window to be removed from existing Structural Opening.	Check and potentially record fabric of wall.
GF28	May be Georgian	D9	Change no longer proposed	No action
GF29	Georgian or later	Not given	Change no longer proposed	No action
GF30	Modern	Various	Internal and external modifications to 20 th century wing of hotel	No action.
GF31	Victorian or Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	Check and potentially record fabric of wall.
GF32	Victorian or Modern	Not given	Modification to doorway.	Check and potentially record fabric of wall.
GF33 NEW	Modern		Removal of a wall and doorway	No action
GF34 NEW	Undated		An existing opening will be blocked up	Record prior to blocking
GF35 NEW	Georgian		One side of fireplace will be removed to allow space for the internal lift	Record prior to removal
GF36 NEW	Georgian		New doorway inserted through wall to allow access to a disabled toilet straight off the main lobby area	Record prior to removal
GF37 NEW	Not Applicable		A lift and stairwell block will be added to the southeast end of the modern block. It will be set back from the road line so will not intrude into most views of the Royal Hotel and other Listed Buildings	Ensure suitable materials are used for the finish
GF38 NEW	Victorian		An internal staircase will be removed and the area used as a store	Record prior to removal



Plan 2. An annotated plan showing the location of the modifications proposed for the Ground Floor (GF) level.



Figure 30: A view inside the main lounge of the Georgian "New Hotel". The doorway to the left is not an original feature and will be replaced (GF24). It is proposed that another doorway (GF23) is opened through the wall to the right of the chimney breast. This will involve removing original fabric which should be monitored and recorded. The fireplace will remain in place.



Figure 31: An external doorway of the doorway (GF24) seen in the previous plate. The render and false quoin stones are relatively modern additions.



Figure 32: A view inside the hallway of the ground floor of the Georgian "New Hotel", viewed from the main staircase. It was proposed that the open door will be infilled (GF21) and a new doorway opened through the arched alcove to the right of centre (GF20). Under the requested variation the wall would be maintained as it currently is. The present doorway is probably not an original feature, whilst the alcove may be an original opening which appears to only be blocked by a thin stud wall. This arrangement shows the complexity of the building and the scale of modifications which have been made during the past 200 years. The monitoring of the removal of the existing plaster and stud walling may well reveal details which help better interpret the history of the building.

5.3 First Floor (see Table 3 and Plan 3)

5.3.1 The first floor of the hotel complex again extends across wings which include the original, late-18th century, Kings Head, the early 19th century “New Hotel” and the mid- to late-Victorian buildings raised around the junction at the northeast corner of Bridge Street and Castle Street, leading up to the river bridge. Many of the changes will be made to lath and plaster or stud-wall partitions and not impact on stone fabric.

5.3.2 Many of the proposed changes on this floor are focused on the opening of new doorways or infill of existing doorways or windows. The works would also include the removal of a now redundant staircase (FF22) of possibly mid-Victorian date between the ground floor and first floor, the top of which is hidden behind modern partition walling. The staircase is relatively modern in appearance and a watching brief on its removal might shed light on its origins. A small corridor stair will also be modified and its fabric should be recorded before removal (FF7). Of particular interest is modification FF1, which requires the removal of partition walling in the northwest tower of the mid-Victorian wing of the hotel. The partitions are undated but cut across what appear to be original covings at ceiling level and may restore the tower rooms to something akin to their original form.

5.3.2 The overall loss of fabric is not considered significant in a building which has already undergone considerable modification. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster. This is especially true within hotel bedrooms which have been reduced, enlarged or sub-divided by partition walls of varying dates. Preliminary examination shows that some of these partitions are in lath and plaster and may be late-Victorian or early 20th century, whilst others are evidently of later 20th century date.

5.3.3 To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection. This will help inform future management of the hotel.

Table 3: First Floor Details

First Floor				
FF1 Layout revised	Modern	D9	The changes to the internal layout have been revised in the variation but there will be a similar impact on existing fabric.	The removal of a number of internal partition walls in the Mid-Victorian wing. The date of the partitions is not clear but some are likely to be modern additions as they cut across original covings at ceiling level. Monitor revealing of original detail in ceilings and record.
FF2	Late Victorian or Modern	D9	Existing internal wall to be now remain but the doors will be removed.	Record any historic fabric before removal.
FF3	Mid-Victorian, possibly Late Victorian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Record fabric before removal.
FF4	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF5	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF6	Modern	D9 & D3	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. / New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	No action
FF7	Mid Victorian with Modern modifications	D2	Existing staircase to be relocated backward/forwards and have new wall-mounted handrails installed to both sides in accordance	Monitor to record any early fabric

			with Approved Document M.	
FF8	Probably Mid Victorian	D3 & D7	Change no longer proposed	No action
FF9	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF10	Possibly Mid-Victorian and/or Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	Check and potentially record fabric of wall before removal.
FF11	Mid-Victorian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Check and potentially record fabric of wall before removal.
FF12	Mid-Victorian or later	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Withdrawn from scheme. No action.
FF13	Mid-Victorian or Modern	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Check and potentially record fabric of wall before removal.
FF14	Mid-Victorian or Modern	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Check and potentially record fabric of wall before removal.
FF15	Probably Late Victorian	D7	Change no longer proposed	No action
FF16	Probably Late Victorian	D7	Change no longer proposed	No action
FF17	Modern	D9	Existing internal wall to be altered. Doorway moved position. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF18	Victorian	D3	Change no longer proposed	No action

FF19	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF20	Probably Late Victorian or Edwardian	D23	Change no longer proposed	No action
FF21	Modern	D9	Change no longer proposed	No action
FF22	Mid-Victorian	D20	Existing concealed and redundant staircase to be demolished and removed	Record fabric before removal
FF23	Possibly Mid-Victorian	D21	Existing Non-Original flying extension with undercroft below to be demolished.	Record fabric before removal
FF24	Modern	Not given	Removal of modern doorway and partition	No action.
FF25	Mid-Victorian	D7	Change no longer proposed	No action
FF26	Possibly Victorian	D17	Existing roof structure to be cut-back or removed as indicated.	Check and potentially record fabric of wall before removal.
FF27	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF28	Probably Victorian	D14	Existing Window and Structural Opening to be reduced in width/height as indicated and have new matching style window frame installed.	Record fabric before removal
FF29	Possibly Georgian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details	Check and potentially record fabric of wall before removal.
FF30	Possibly Georgian	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	Check and potentially record fabric of wall before removal.
FF31	Possibly Georgian	D4	Change no longer proposed	No action

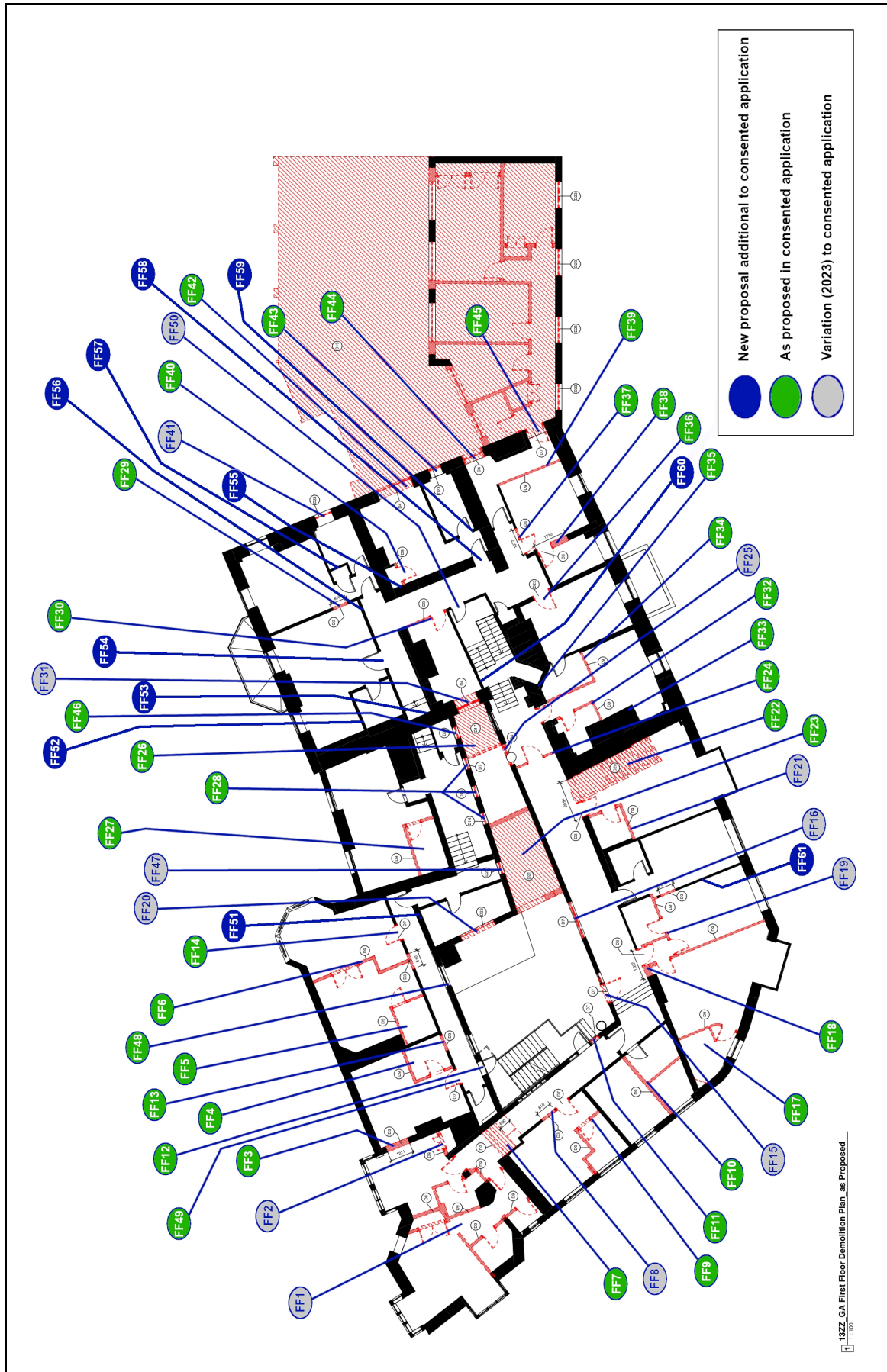
FF32	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF33	Possibly Georgian	Not given	Modification and partial removal of chimney breast.	Withdrawn from consented scheme and not part of new 2023 scheme
FF34	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF35	Probably Georgian	Not given	Modification of walling	Withdrawn from consented scheme and not part of new 2023 scheme
FF36	Modern	D23	Existing Window or Door to be replaced as per details on window schedule	No action
FF37	Modern	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	No action
FF38	Possibly Georgian	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details	Record fabric before removal
FF39	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF40	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
FF41	Victorian or later insert into Georgian wall	D23	Change no longer proposed	No action
FF42	Georgian	D4	Existing Door/Window will be blocked to create a solid wall	Record fabric before removal
FF43	Victorian or later	D23	Existing Window or Door	Monitor and record

	insert in Georgian wall		to be blocked up	any fabric of historic interest.
FF44	Georgian	D4	Existing Door/Window to be blocked up to create solid wall. To be infilled and decorated to match the surrounding wall	Record fabric before removal
FF45	Modern through Georgian wall	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall	Monitor and record any fabric of historic interest.
FF46	Probably Victorian	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Check and potentially record fabric of wall before removal.
FF47	Probably Victorian	D23	Change no longer proposed	No action
FF48	Late Victorian or Edwardian	Not given	Modification to window opening.	Withdrawn from consented scheme and not part of new 2023 scheme
FF49	Late Victorian or Modern	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	No action.
FF50	Modern?	Not given	The wood and glass wall and door will now be removed	Record fabric before removal
FF51 NEW	Late Victorian/Modern	Not Given	A section of brick walling and an internal division will be removed to create an open space	Record fabric before removal
FF52 NEW	Modern	Not Given	A modern internal room division will be partially removed and realigned	No action.
FF53 NEW	Unknown	Not Given	A storage cupboard within a broad landing will be removed	Record fabric before removal
FF54 NEW	Unknown	Not Given	A doorway will be blocked up	Record fabric before removal
FF55 NEW	Georgian	Not Given	A new doorway will be inserted through a section of wall	Record fabric before removal
FF56 NEW	Unknown	Not Given	A new doorway will be inserted through an internal wall of unknown date	Record fabric before removal
FF57	Unknown	Not	Internal walls will be	Record fabric before

NEW		Given	removed and reconfigured	removal
FF58 NEW	Unknown	Not Given	A doorway through one of the Georgian walls will be blocked up	Record fabric before removal
FF59 NEW	Modern?	Not Given	Wall to be removed	Record fabric before removal
FF60	Modern?	Not Given	Wall to be removed to create a storage area	Record fabric before removal
FF61 NEW	Modern?	Not Given	Internal stud wall to be removed	No action.



Figure 33: The ceilings of the first-floor rooms at the northwestern corner of the hotel at first floor level show that the mid-Victorian rooms have been subdivided by later stud walling, with original plaster coving cut by the later walls. Removing some of these later walls (FF1) may restore some rooms to a condition closer to their original form. The date of the stud walling is not always clear, however, and could range from late-Victorian to late 20th century, hence this work needs to be monitored and recorded where historic fabric is revealed or removed.



Plan 3. An annotated plan showing the location of the modifications proposed for the First Floor (FF) level.



Figure 34: The original staircase, seen here on the landing between the first and second floors. The staircase lies within the "New Hotel" and probably dates to 1815 and is one of the most important historical features within the complex. There are no proposals which will impact on the staircase although the banisters may need some remedial work.

5.4 Second Floor (see Table 4 and Plan 4)

5.4.1 The second floor of the hotel complex extends across wings which include the original, late-18th century, Kings Head, the early 19th century “New Hotel” and the mid- to late-Victorian wings raised around the junction at the northeast corner of Bridge Street and Castle Street, leading up to the river bridge. As with the first floor, many of the changes will be made to lath and plaster or stud-wall partitions and not impact on stone fabric.

5.4.2 The most significant modifications will be to the door and window SF14 and SF15 though the eastern side of the “New Hotel” and Kings Head. SF14 and SF15 are appear to be original to the Georgian King’s Head and “New Hotel” and are shown in early prints of King’s Head (see Plate 34 below). SF14 has been converted into a doorway in the 20th century, whilst the proposal for SF15 is to infill the window, which is not considered to negatively impact the fabric of the building.

5.4.3 On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection. This will help inform future management of the hotel.

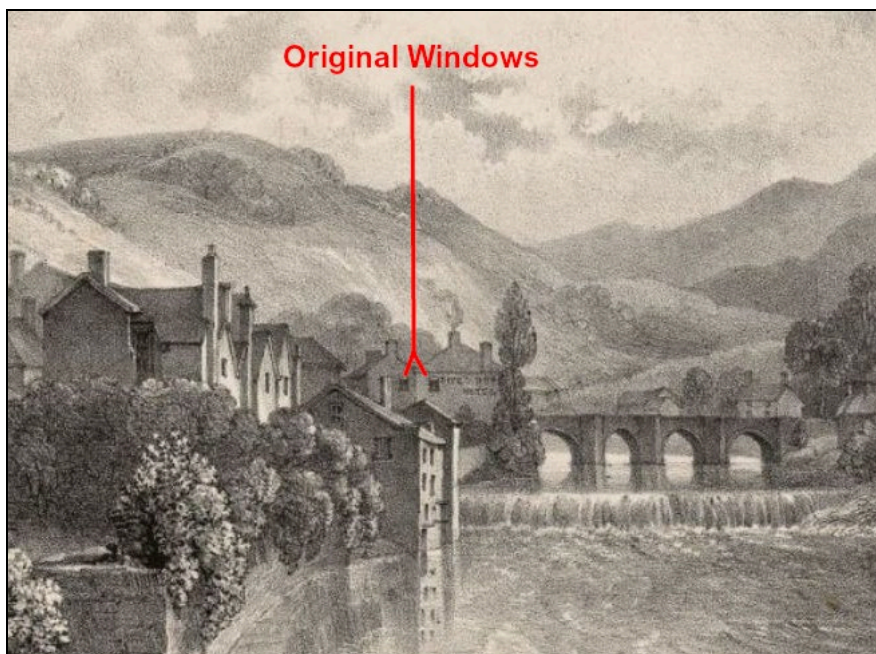


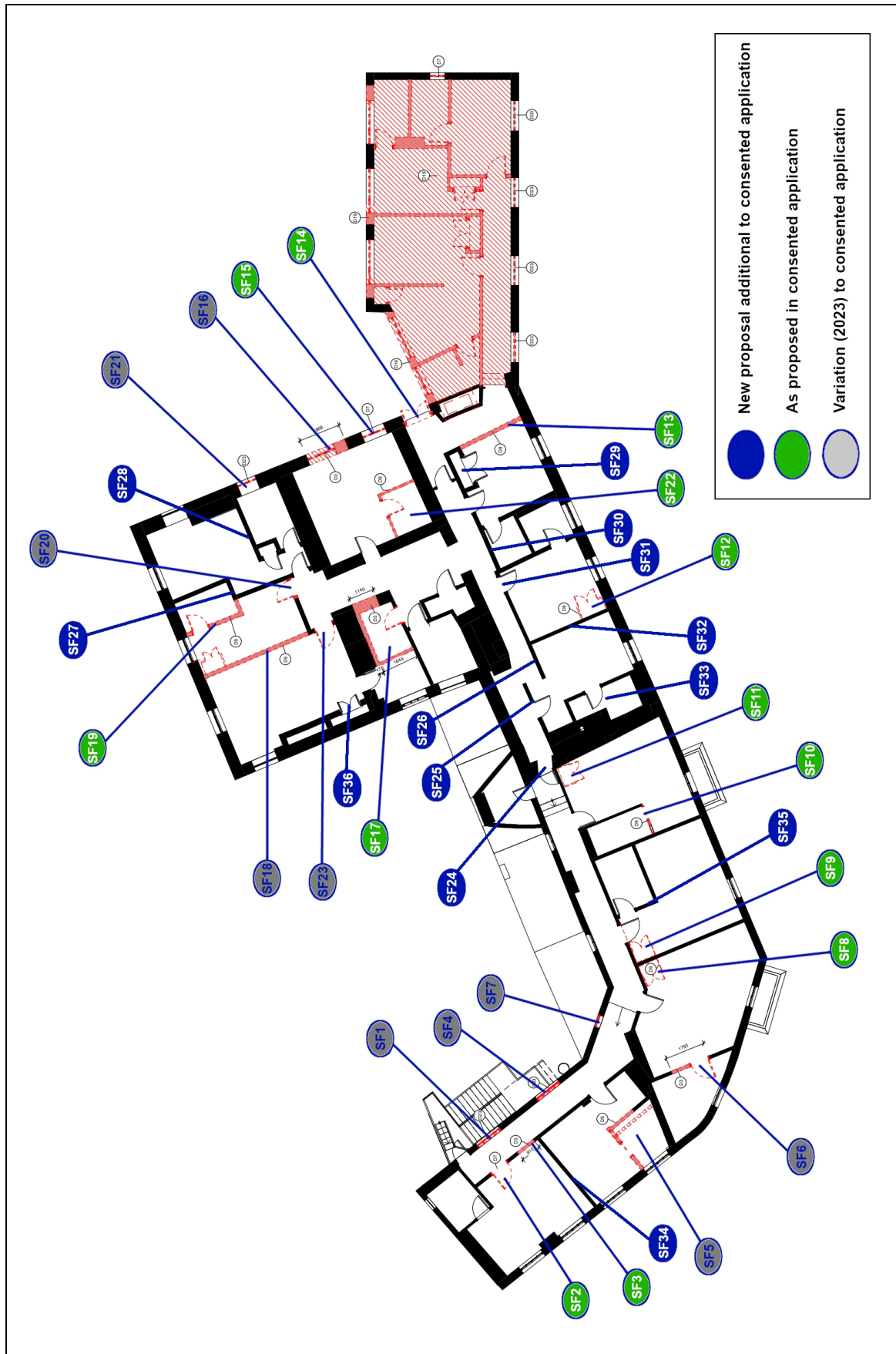
Figure 35: W. Crane’s print of Llangollen circa 1840 shows the Kings Head Hotel with only two upstairs windows shown in the eastern wall of the upper floors. These probably correspond to the windows affected by modifications SF14 and SF15. The other windows through this wall, including those affected by modifications SF16 and SF21, are later inserts it appears.

Table 4: Second Floor Details

Second Floor				
SF1	Victorian	D23	No change now proposed	No action
SF2	Probably Modern	D7	Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	Check and record any historical fabric before removal
SF3	Probably Modern	D3	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details.	Check and record any historical fabric before removal
SF4	Victorian	D23	No change now proposed	No action
SF5	Probably Modern	D9	No change now proposed	No action
SF6	Probably Modern	D3	A different small portion of the wall to be removed from the consented proposal	Check and record any historical fabric before removal
SF7	Victorian	Not given	No modification to window now proposed.	No action
SF8	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
SF9	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
SF10	Modern	D9	No change now proposed	No action
SF11	Modern	Not given	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
SF12	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
SF13	Possibly Georgian	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	Record fabric before removal
SF14	Modern door	Not given	Doorway will be blocked	No action
SF15	Georgian	D7	Existing door/window to be	Check and record any

			removed from existing Structural Opening and be infilled and decorated to match the surrounding wall.	historical fabric before modification
SF16	Victorian window in Georgian wall	D3	No change now proposed	No action
SF17	Georgian	D2 & D22	New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. / Face of existing Chimney to be adjusted in accordance with Structural Engineers details to facilitate installation of new platform lift in accordance with Approved Document M.	Record fabric before removal
SF18	Possibly Modern	D9	No change now proposed	No action
SF19	Possibly Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	Check and record any historical fabric before removal
SF20	Possibly Modern	Not given	No change now proposed	No action
SF21	Victorian window in Georgian wall	D23	No change now proposed	No action
SF22	Modern	D9	Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design.	No action
SF23	Modern	Not given	No change now proposed	No action
SF24 NEW	Georgian	Not Given	A change to straighten the wall has been removed so no change proposed now	No action
SF25 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF26 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF27 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF28 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before

				removal
SF29 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF30 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF31 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF32 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF33 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF34 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF35 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal
SF36 NEW	Unknown		Existing internal walls to be removed.	Check and record any historical fabric before removal



Plan 4. An annotated plan showing the location of the modifications proposed for the Second Floor (SF) level.



Figure 36: A view of the eastern side of the Georgian "New Hotel". 19th century prints of the building show only a single upstairs window at second floor level in this side of the building. It is not certain if the original windows survive to the left side of the elevation, window SF15 will be blocked but SF16 retained. The remaining windows appear to relate to later modifications of Victorian or early 20th century date.



Figure 37: A damaged section of ceiling on the second floor of the Victorian wing of the hotel facing Bridge Street reveals original laths beneath the plasterwork.

5.5 The 20th Century Wing.

5.5.1 The 20th century wing was added to the Royal Hotel during the second half of the 20th century. It is not considered to be of heritage value and proposed internal changes have not been included in this report.

5.5.2 The 20th century wing consisted of two parts. One section faced onto Bridge Street, to the south, whilst another faced the river Dee to the north and included the popular Dee Bar. This latter section was demolished during the early summer of 2021 as part of enabling works to facilitate access to undertake emergency repairs a collapse of the river wall beneath the Georgian section of the hotel.

5.5.3 The southern part of the 20th century wing, facing Bridge Street, has been retained and will be incorporated into the proposed enhancement of the hotel complex, with the proposed new spa and sauna wing constructed on the site of the demolished Dee Bar.

5.5.4 Proposed changes to the external décor of the façade of the 20th century wing on Bridge Street are considered in a separate document assessing the impact on the Setting of the Royal Hotel (Trysor, 2024). These changes are also touched upon in section 5.6 of this report, which deals with the Heritage Impact of the external modifications and enhancements proposed as a part of the redevelopment of the hotel complex.



Figure 38: A view of the hotel from Bridge Street, November 2021. The 20th century wing is seen to the left of centre. The proposed changes to this wing include the addition of shopfront-style awnings over the ground floor door and windows and the addition of a pitched slate roof to replace the present flat roof. These changes will enhance the appearance of the modern wing and the complex as a whole. A cantilevered section would be added to the gable end to the right of this image, at first and second floor level.

5.6 External modifications

5.6.1 It is proposed that the present “black and white” exterior décor of the hotel will be replaced by a new colour scheme. Although “black and white” décor has been popular in Llangollen in the past, many commercial premises have moved away from this theme in recent years. The use of light colours for the elevations with architectural details, doors and window surrounds picked out in a darker colour is still popular, including along Bridge Street and at either end of the river bridge.

5.6.2 The facades of the Royal Hotel, facing Bridge Street and Castle Street, are a composite of several phases of development. The earliest is the late 18th to early 19th century building which was built as the King’s Head, on Bridge Street. This is where the main entrance into the Royal Hotel has always been located. Later and mid-Victorian wings extend from the original King’s Head building to the junction of Bridge Street and Castle Street and along Castle Street to the end of the river bridge.

5.6.3 Throughout the past 200 years, the owners of the hotel appear to have endeavoured to present the southern and western elevations with a coherent, unifying décor to emphasise that this large and architecturally varied complex was a single establishment.

5.6.4 The earliest known photograph of the south elevation of the Royal Hotel is a black and white photograph dating to circa 1900 (Plate 38). This shows the south and west elevations painted in one tone, with a darker colour on the woodwork of the bay window and doors, with white window frames.



Figure 39: This photograph appears to show that the façade of the Royal Hotel was uniform in terms of its décor around 1900.

5.6.5 Another black & white photograph dating to 1950 (Plate 39) again shows a single, coherent decorative style across the entire south elevation. By this time the building appears to have been painted white or a very light colour, with a darker colour (probably black) used on the raised render around some windows, gutters and downpipes and also on a single horizontal band between the ground floor and first floor which runs across the entire south elevation.



Figure 40: This photograph shows the uniformity of the external décor of the hotel façade in the mid-20th century.

5.6.6 The available sources therefore indicate that the whole of the south elevation has been decorated in a single, coherent style. There are no historical or aesthetic grounds to change that approach.

5.6.7 The northern elevations of the hotel complex, facing the river, have been treated very differently in the past. In recent times they have had a similar “black and white” décor to that of the southern and western facades of the hotel, but in earlier times wings of different dates along the riverside were decorated differently, being either left unpainted or painted in different colours (see figures 11, 14 and 16).

5.6.8 It is proposed that the new décor would use subtly different light colours on wings of different dates, to recreate the variety which formerly existed. This will help create a level of understanding of the history of the building and its stages of development for the onlooker.

5.6.9 Architectural details will largely be picked out in the same darker paint as used on the hotel façade, to unify the complex. The hotel name, which appears in raised lettering on the wall of the Georgian wing and also as affixed lettering on the late Victorian wing, will be painted in the same dark colour.

5.6.10 The natural stone window surrounds on the mid-Victorian turret at the northwestern corner of the hotel will be cleaned of the paint which currently masks the stonework to once again reveal the original stonework.



Figure 41: This photograph from 1950 shows how each wing of the hotel once had very distinctive but different external décor; the Georgian wing is to the left, the red-brick late Victorian wing is to the centre and the mid-Victorian wing to the right is painted cream.

5.6.11 Other changes to the northern side include moderate changes to the modern decking along the river's edge, ensuring that it compliments the character of the historic hotel.

5.6.12 Some architectural changes will be made to the late-Victoria wing of the hotel at basement level (B1). Here the lower part of the external wall, which already has two doors opening out onto the external decking level, will undergo significant modification. Both doorways and a window will be removed to create a wider opening, with folding glass doors, opening onto the decking from a new dining room.

5.6.13 In this proposed variation to the consented scheme the base of the late-Victorian turret at the riverside (B7) will not have a new window opening inserted, retaining the original fabric.

5.6.14 The largest change in this proposed variation is to the construction on the former site of the Dee Bar, to the east of the Georgian wing of the hotel.

This will now provide private, 1- or 2-bedroom apartments rather than a spa facility. There will be no internal connection with the main building and access to the apartments will be by an additional external lift and stairwell block in the gap between the Royal Hotel and the former Midland Bank to its southeast. The new building will still have a physical impact on the hotel building. The new structure will be built to the same height as the Georgian "New Hotel" and will obscure much of the eastern side of the earlier building. At each level, modifications will be made to existing windows and doors to accommodate the new structure (GF22 & GF29; FF42-FF44; SF14 & SF15, see Plate 35). Many of the present windows and doors are not thought to be original features but have been inserted in later times. Monitoring and recording their fabric during the removal work might give a better understanding of the development of this part of the hotel complex.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process*

6.1 Trysor and the wider teams involved in this project have worked through the HIA process together, refining the proposal for the best outcome for the historic environment and the client. Consultations with Cadw and the Denbighshire Conservation Officer were undertaken by the project team for the consented application and the outcomes also fed back into the design.

6.2 As part of the HIA process for the consented scheme, Trysor were brought into the project as historic environment consultants at an early stage and invited to examine the interior and exterior of the Royal Hotel in May 2019. This informed an unpublished report "*Royal Hotel, Bridge Street, Llangollen: History of Development*" (Trysor, 2019) which outlined the history of the hotel.

6.3 This initial study demonstrated that the hotel included wings of varying dates, from the late 18th century to the late-Victorian and a phase plan of the complex was created which identified Early Georgian, Georgian, Mid-Victorian and Late Victorian wings. Some outbuildings and service areas at the centre of the complex were undated but thought likely to be of Victorian or later date.

6.4 The findings of the initial Trysor study have informed the subsequent proposals for the Royal Hotel, which have sought to preserve and enhance the historic character of the complex and ensure that the distinctive architecture of wings of different dates is protected within the new scheme.

6.5 The chosen new colour scheme for the exterior of the complex has been discussed in detail with Cadw and the local authority Conservation Officer and will be true to the historic management of the buildings. The hotel façades on Bridge Street and Castle Street will be decorated with a light colour, with architectural detail picked out with a darker colour.

6.6 The décor of the rear elevations will show subtle variation, with each wing painted in a different, light colour but unified across the façades by the use of the same dark colour to pick out architectural details, doorways and windows. This will maintaining the architectural integrity and character of each wing yet make each historic phase of the complex readily identifiable and readable.

6.7 The new residential unit which will replace the 20th century part of the building on Bridge Street will be finished in white render to match the existing hotel with a slate roof to the front section and flat roof to the rear. The rear elevation of the apartments overlooking the river will have timber cladding and black cladding that frame the balcony areas. The stairwell and lift block will be clad in black steel/timber cladding. It will be a new, modern element, replacing the rear of the mid 20th century block. It will not be line with the Georgian hotel but follow the river and angle away from the Georgian block, so

it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

7. Bibliography

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January 2024
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7.1 Maps

Estate Map, 1791, Survey of several estates in Co. Denbigh belonging to Rev. Edward Roberts. Denbighshire Archives, DD/DM/736/1

Ordnance Survey, 1874, 1:2500 map

Ordnance Survey, 1971, 1:2500 map

Llangollen Parish Tithe Map, 1843

Llangollen Parish Tithe Apportionment, 1843

7.2 Online Resources

1752, Register of Alehouses for Llangollen

<http://www.llangollenmuseum.org.uk/History/shops.htm>

Will of Joseph Davies, King's Head, Llangollen, 1822. National Library of Wales, website.

Will of Elizabeth Lloyd, King's Head, Llangollen, 1854. National Library of Wales website.

British Newspaper Archive <https://www.britishnewspaperarchive.co.uk/>

Welsh Newspapers Online <https://newspapers.library.wales/>

Appendix A: Client Plans

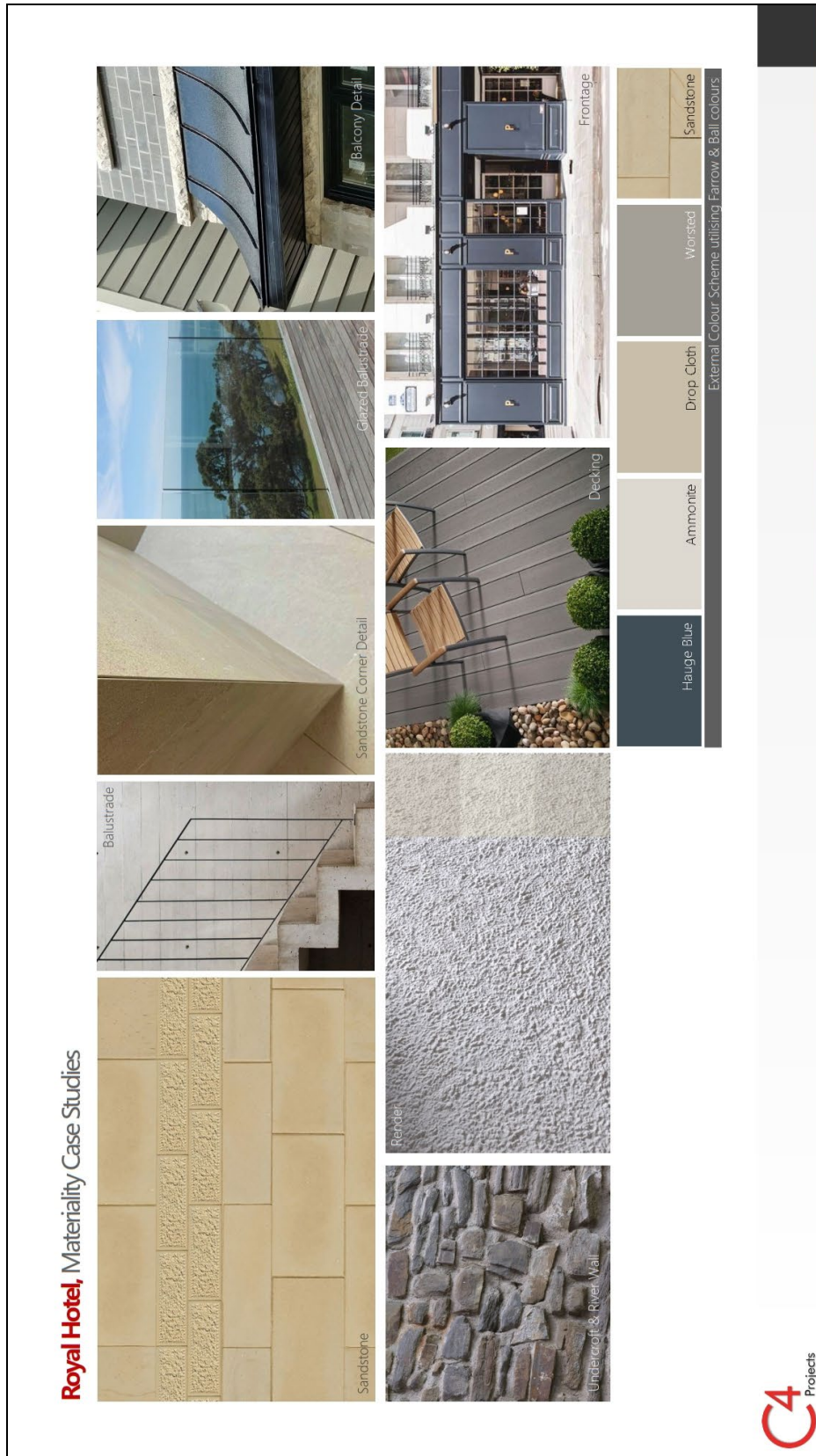


Figure XX: Client Materiality and Colour Scheme. The Ammonite will be used on the painted render on the southern and western façades, with Ammonite, Dropcloth and Worsted used on the northern façade to highlight different phases of the hotel's history with the darker colour used for the oldest, Georgian elements.