

Six Gables Dental Practice, Penline Road, Cardiff, CF14 2AA Heritage Impact Assessment Revised Proposal, August 2023



Report by: Trysor

For: C2J Architects

August 2023



Six Gables Dental Practice, Penlline Road, Cardiff, CF14 2AA Heritage Impact Assessment Revised Proposal, August 2023

By

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Trysor

Trysor Project No. 2022/851
HER Event Record PRN – GGAT E006960

For: C2J Architects

August 2023

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Cover photograph: The rear of Six Gables, Penlline Road, looking west-southwest

Six Gables Dental Practice, Penlline Road, Cardiff, CF14 2AA
Heritage Impact Assessment
Revised Proposal, August 2023

RHIF YR ADRODDIAD - REPORT NUMBER: Trysor 2022/851

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Diwygiwyd 2^{ail} Awst 2023

DATE 2nd November 2022
Revised 2nd August 2023

Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

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Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

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GGAT	Glamorgan Gwent Archaeological Trust
HER	Historic Environment Record
NPRN	National Primary Record Number in National Monument Record held by the RCAHMW
PRN	Primary Record Number in regional HER held by Glamorgan Gwent Archaeological Trust

Event Record PRN – GGAT HER

PRN	GGAT E006960
Name	Six Gables Dental Practice, Penlline Road, Cardiff, CF14 2AA, Heritage Impact Assessment, Revised Proposal, August 2023
Type	HERITAGE ASSESSMENT
NGR	ST1534280178
Easting	315342
Northing	180178
Summary (English)	During autumn 2022, Trysor carried out an assessment of the impact on the Six Gables, Penlline Road, Cardiff, CF14 2AA and on nearby designated historic assets from, a proposed extension to the rear of Six Gables. The proposed design was revised after comments from the planning authority and this report assesses the revised proposal. © Trysor 2023
Crynodeb (Cymraeg)	Yn ystod hydref 2022, cynhaliodd Trysor asesiad o'r effaith ar Six Gables, Heol Penlline, Caerdydd, CF14 2AA ac ar asedau hanesyddol dynodedig cyfagos o estyniad arfaethedig y tu ôl i Six Gables. Adolygwyd y dyluniad arfaethedig yn dilyn sylwadau gan yr awdurdod cynllunio ac mae'r adroddiad hwn yn asesu'r cynnig diwygiedig. © Trysor 2023
Description	During autumn 2022, Trysor carried out an assessment of the impact on the Six Gables, Penlline Road, Cardiff, CF14 2AA and on nearby designated historic assets from, a proposed extension to the rear of Six Gables. The proposed design was revised after comments from the planning authority and this report assesses the revised proposal. © Trysor 2023
Sources	Trysor, 2023, Six Gables Dental Practice, Penlline Road, Cardiff, CF14 2AA, Heritage Impact Assessment, Revised Proposal, August 2023
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Summary

This report has been prepared by Trysor, at the request of C2J Architects, on behalf of their client, to assess the impact of the proposed extension to the rear of Six Gables Dental Practice, 27A Penlline Road, Cardiff, CF14 2AA on the Listed Building number 26711 at NGR ST1534280178, through the four stages of the Heritage Impact Assessment in Wales process. After comments from the planning officer and amendments to the design, the report was revised taking into account the changes. After further comment from the planning officer, further amendments were made and this report revised again.

The proposal will see removal of two existing small, single-storey extensions to the rear of the building and their replacement with a larger, single-storey extension which will include new entrance, reception, waiting room, WC, office space and treatment room. The roof of the new extension will be significantly subservient to the existing building, the roof line will be far lower, the footprint less than the original and the choice of materials will clearly differentiate between old and new fabric. The existing waiting room will be subdivided into two treatment rooms with passage to existing WC and the current front door which will become an emergency exit. The existing stairs will be retained as will the first-floor layout in the main building.

The proposed change will not impact on the architectural details visible on the façade of the building, facing Penlline Road, or on the key views of Six Gables which contribute to its significance. The extension is behind the existing building and the streetscape is such that views to the rear of the building are very limited.

Six Gables has been used as a dental surgery for several decades and the inside of the building is modernised. No significant architectural features would be affected or removed by the proposed development.

The proposed development would also not impact on key views of the adjoining Listed Building, The Laurels, Listed Building number 13776, which is set closer to the road than Six Gables and separated from it by a high wall, high hedge and several mature trees, all of which will be retained.

1. Introduction

1.1 This document has been prepared by Trysor, at the request of C2J Architects of Unit 1A, Compass Business Park, Cardiff, CF24 5HL, on behalf of their client, to assess the impact on the listed building at Six Gables Dental Practice, 27A Penlline Road, Cardiff, CF14 2AA, at NGR ST1534280178.

1.2 The proposed development would consist of a single-storey rear extension with some limited alterations to the existing building and its layout. Details of the development have been amended following an earlier version of this assessment and comments from the planning authority, planning application 22/01226/MNR and listed building consent LBC/22/00036/MNR.

1.2.1 The planning application and listed building consent were refused, the reason for removal given as:

The proposal by virtue of its form, scale, and finishing materials would overwhelm the original building and would have a significant adverse impact on the character and appearance of this heritage asset and would conflict with policies KP5, KP17 and EN9 of the LDP

1.2.2 The client has redesigned the proposal taking these comments into account and this report comments on this redesign.

1.3 A site visit was made by Trysor on 14th September 2022 to examine the proposed development site and its environs. A second visit was made on 26th May 2023 with particular focus on the internal aspects of the building.

1.4 The proposed development lies circa 50 metres to the north of the Church Road, Whitchurch, Conservation Area. The proposed extension lies to the rear of the listed building, to its northeast so Six Gables itself blocks views of its rear from the conservation area. In addition, mature trees line the edge of the conservation area screening views in and out of the conservation area and adjacent to the southwest side of Six Gables is the Earl Haig club, a substantial building which stands closer to the road than Six Gables with a greater mass and this blocks views of the front of Six Gables the conservation area.

1.5 The two other designated historic assets lie within a theoretical view of Six Gables in this urban landscape.

1.5.1 The first is the Laurels, Listed Building 13776 which was originally part of the same property as Six Gables and lies to its northwest

side. The Laurels stands closer to the road than Six Gables and in most views of The Laurels the proposed single storey, rear extension would not be visible with buildings blocking views.

1.5.2 The Church of St. Mary, Listed Building 13673 lies just within the Church Road, Whitchurch Conservation Area and for the same reasons as there is no intervisibility with the conservation area itself there are no views between Six Gables and the church.

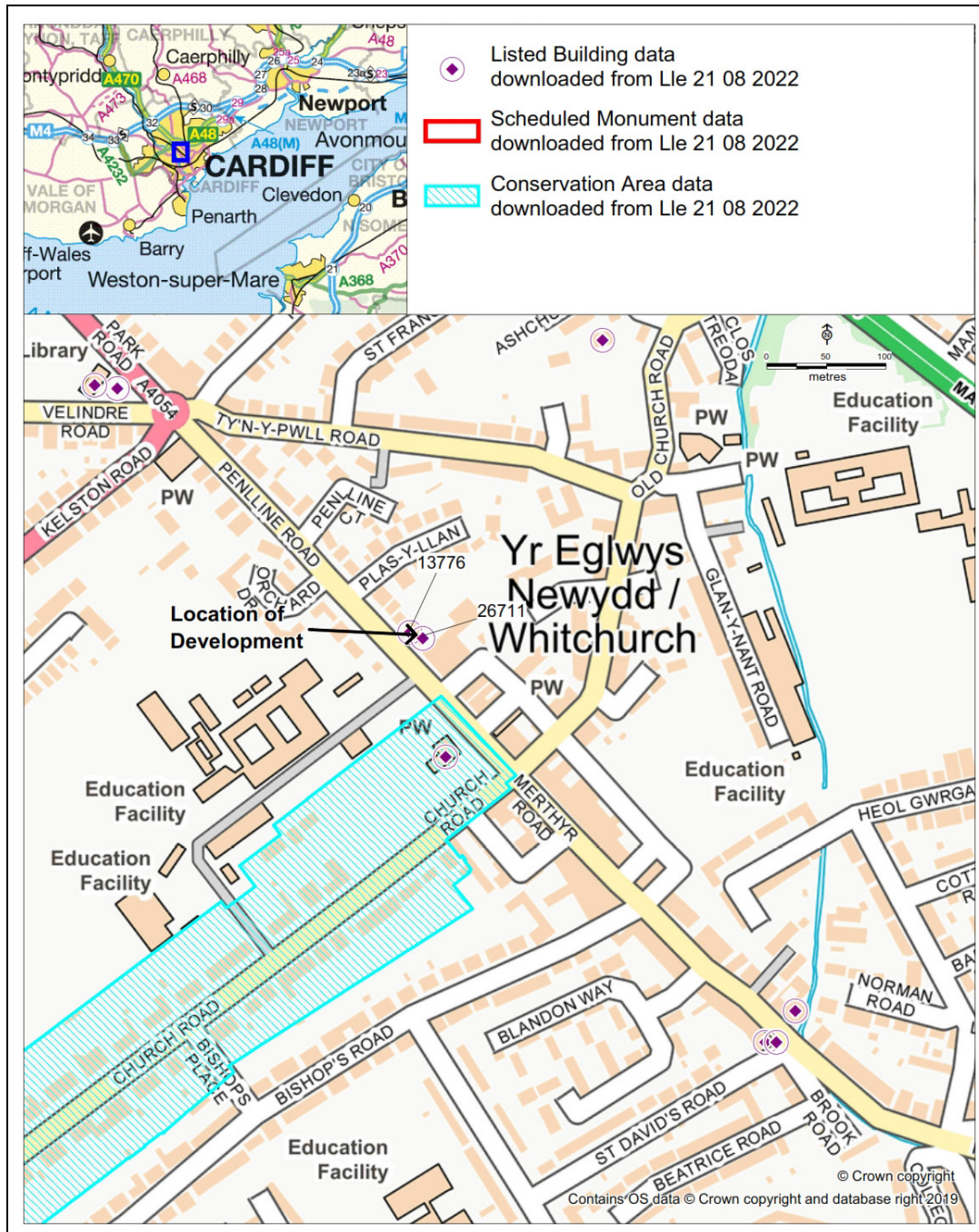


Figure 1: Location of the proposed development site at the listed building Six Gables, 27A Penlline Road, Cardiff, showing the Church Road, Whitchurch Conservation Area and designated historic assets nearby.

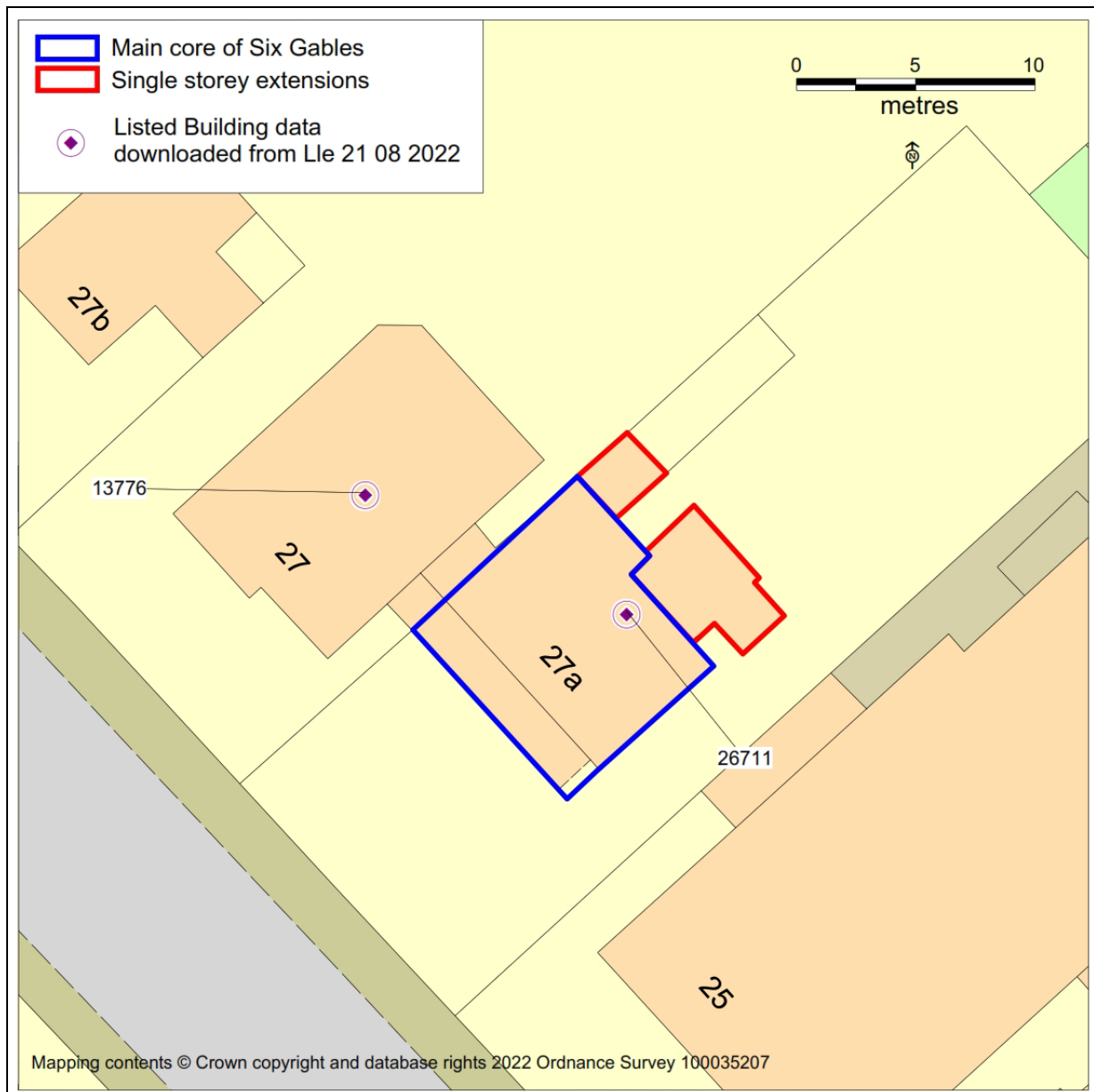


Figure 2: Six Gables, 27A Penline Road, Cardiff, showing the main core of the building and the two small existing extensions which will be removed and replaced by a larger, single-storey extension.

2. Methodology

2.1 The process outlined in "*Heritage Impact Assessment in Wales*" has been followed (Cadw, 2017a). This process applies to Conservation Areas as well as individual historic assets and has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

2.2 In addition, Cadw's guidance "*Managing Conservation Areas in Wales*" (Cadw, 2017c) has been used to inform this assessment.

2.3 The impact on the settings of listed buildings in the vicinity of the proposed development was assessed using the methodology outlined in "*Setting of Historic Assets in Wales*" (Cadw, 2017b).

2.4 In order to make the following parts of the report clearer, the rooms have been labelled as shown in Figure 3.

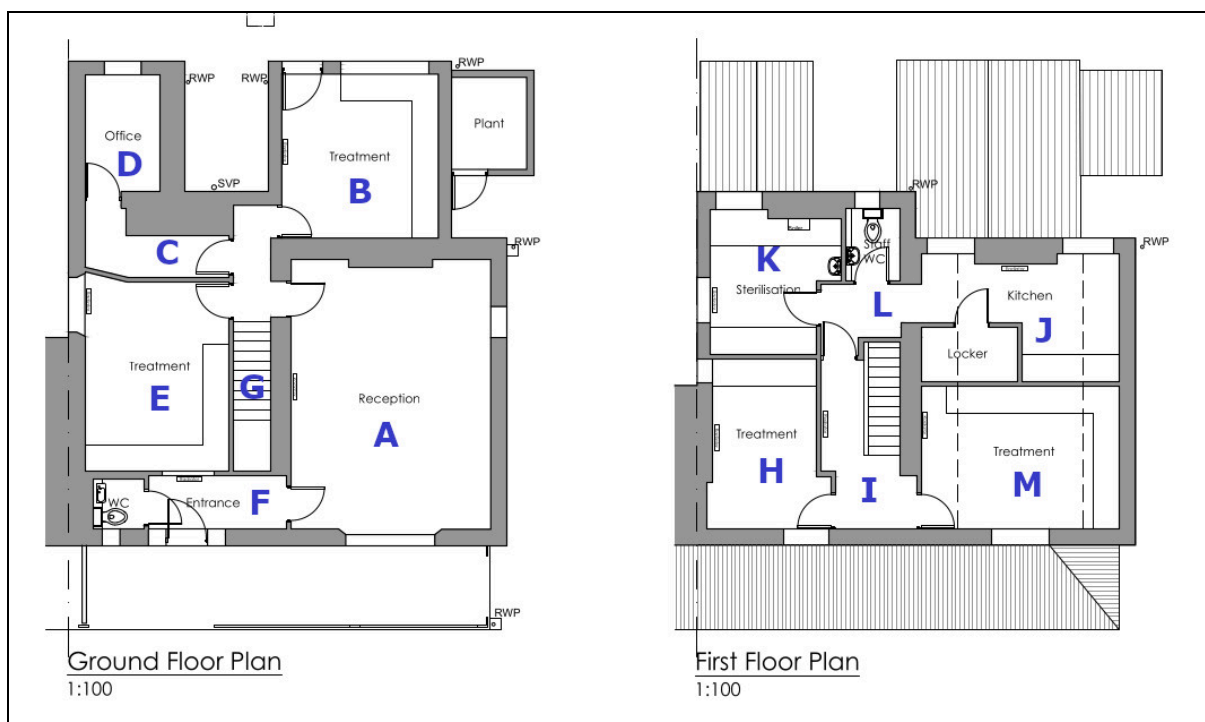


Figure 3: Current layout of Six Gables, labelled with room numbers used in this report.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The dental practice requires more treatment areas, which creates the need for a larger waiting room and reception.

3.1.1 After a review of the initial design the proposed development has been revised and will consist of a rear single storey extension to the existing building, replacing two small, single storey extensions.

3.2 It is proposed that:

- Two existing small, single-storey extensions to the rear of the building are removed, Rooms B and D..
- They are replaced with a larger, single-storey extension which will include new entrance, reception, waiting room, WC, office space and treatment room.
- The existing waiting room, Room A, will be subdivided into two treatment rooms with a passage to the existing WC and the current front door which will become an emergency exit.
- A doorway will be created through the rear external wall of the existing reception area, Room A, into the new extension.
- The rest of the existing ground floor layout will be retained
- The existing stairs, Room G, will be retained as will the first-floor layout in the main building and there will be no first-floor access to the new extension.

4. Heritage Impact Assessment Stage 2: Understand the significance of the Listed Building

4.1 Evidential Value

- 4.1.1 Six Gables Dentist Practice is located in the southeastern part of what was once a single residence known as The Laurels, and has been listed by Cadw as “a mid-19th century villa of character”, listed building number 26711. The northwestern part of the former single residence, 27 Penlline Road, is still known as The Laurels and is listed separately under listed building number 13776.
- 4.1.2 The property is an attractive and interesting late 19th century building in the streetscape. The front façade consists of two gables of two storeys each (see plates 1 & 2). The whole is stuccoed with pronounced quoins on the southeast corner. The northwest corner butts onto number 27 in a vertical joint which it was once part of.
- 4.1.3 At ground floor level a verandah stretches across the whole façade and into number 27. It has a tented corrugated roof supported by decorative ironwork trellis supports. The verandah roof is hipped at the southeast end but butts vertically against number 27 at its northwest end. The ironwork trellis supports are connected at ground by decorative ironwork panels. One section of panel appears to have been removed to allow access to the front door of 27a.
- 4.1.4 The ground floor façade has a doorway and sidelights to either side to the northwest with a triple sash window to southeast.
- 4.1.5 At first floor level of the façade each gable has a 2-light casement window, each light having 8 small panes. Over each window is a prominent, squared drip mould.
- 4.1.6 The roof is of Welsh slate with terracotta *fleur de lys* finials on the gable ends, although the southeast finial is now broken. In places the terracotta two-holed ornamental ridge tiles have been replaced by a mixture of roll-top ridge tiles, and plainer capped or uncapped ridge tiles. The bargeboards are of a decorative nature with a thin board to which a curvilinear
- 4.1.7 The southeast side of the building is plain apart from the quoins on the front, and quoins at the rear at first floor level, see plate 3, lefthand side of photograph. There is a single vertical window towards its eastern corner that has not been replaced with UPVC.
- 4.1.8 The rear of the building again has two gables, and a stuccoed finish, but it does not have the decorative finishes of the front, see Plates 3, 4 and 39. There are no finials on the roof, the barge

boards are narrow and plain, there are no drip moulds and the windows are of modern UPVC.

- 4.1.9 Two single-storey small extensions, Rooms B and D, extend from the main building, with the ridge line parallel to the main ridges although not in line with them, see Plates 3, 4 and 39. They may be shown on the 1919 Ordnance Survey map but retain little visible, original detail. The doors and windows are modern UPVC, with no drip moulds, there are no quoins visible, they have slate roofs but the ridge tiles are plain terracotta. The rainwater goods are mainly plastic, although some sections are metal, all painted the same colour blue. Internally no original features are visible in these rooms, see Plates 11 and 12.
- 4.1.10 Internally the original layout of the building is not clear, and there are few identifiable original features. The stairs have been modified but style of the stringers, and the overall style, suggest they are original. The newel post at the top is simple in style, a square post, chamfered at the top and with a flat octagonal newel cap. The boarded landing rail may conceal the original balusters, see Plates 5, 18, 20 and 23.
- 4.1.11 The upper floor retains no visible original features other than the two windows to the front in rooms H and M see Plates 21, 22, 31 and 32.
- 4.1.12 The ground floor also retains an original window to the front in the existing reception area, Room A, see Plate 34. The current entrance is into hallway, Room F, through a glass and wood door flanked by glass on either side, see Plates 36 and 37. There are hints that this is a modified design from the original, perhaps from the 1950s when Laurel Cottage was sold separate to Rose Cottage and a new doorway into the property was needed. The side window in the existing reception room, Room A, is probably original and certainly hasn't been replaced with UPVC.
- 4.1.13 Other possible existing internal features on the ground floor are sparse. There is decorative coving on the top of the northwest and southwest walls in Room E, see Plate 17, and along top of north wall in corridor C, see Plate 13. Rooms A and Corridor C retain the chimney space although nothing visible remains of the fireplaces themselves, see Plates 8 and 13. Room A has coving and a dado rail around the entire room, see Plates 8, 10, 34 and 35. The dado runs across the fireplace space which suggests it was applied after the fireplace went out of use. The coving is a different, plainer style than that in Rooms E and C, which suggests it is of a more recent date.

4.2 Historical Value

4.2.1 The origin of the building is not clear. The earliest available map is the Ordnance Survey's Original Surveyors Drawings, produced for this area in 1811. This map shows that the area of the modern Penlline Road was still undeveloped in the early 19th century and that this was still a largely rural district at the time, see Figure 4.



Figure 4: The 1811 Ordnance Survey Original Surveyors Drawing shows the Whitchurch area to be a village set in a rural district to the north of Llandaff. There was no development along Penlline Road at that time. The approximate area of Six Gables is ringed in red.

4.2.2 The 1833 Ordnance Survey First Series map is based on the Original Surveyors Drawings. This map again shows the area to be largely undeveloped, with a scattering of cottages and farms around the small village of Whitchurch. There was again no development in the area of the present Penlline Road and Six Gables (see Figure 5).

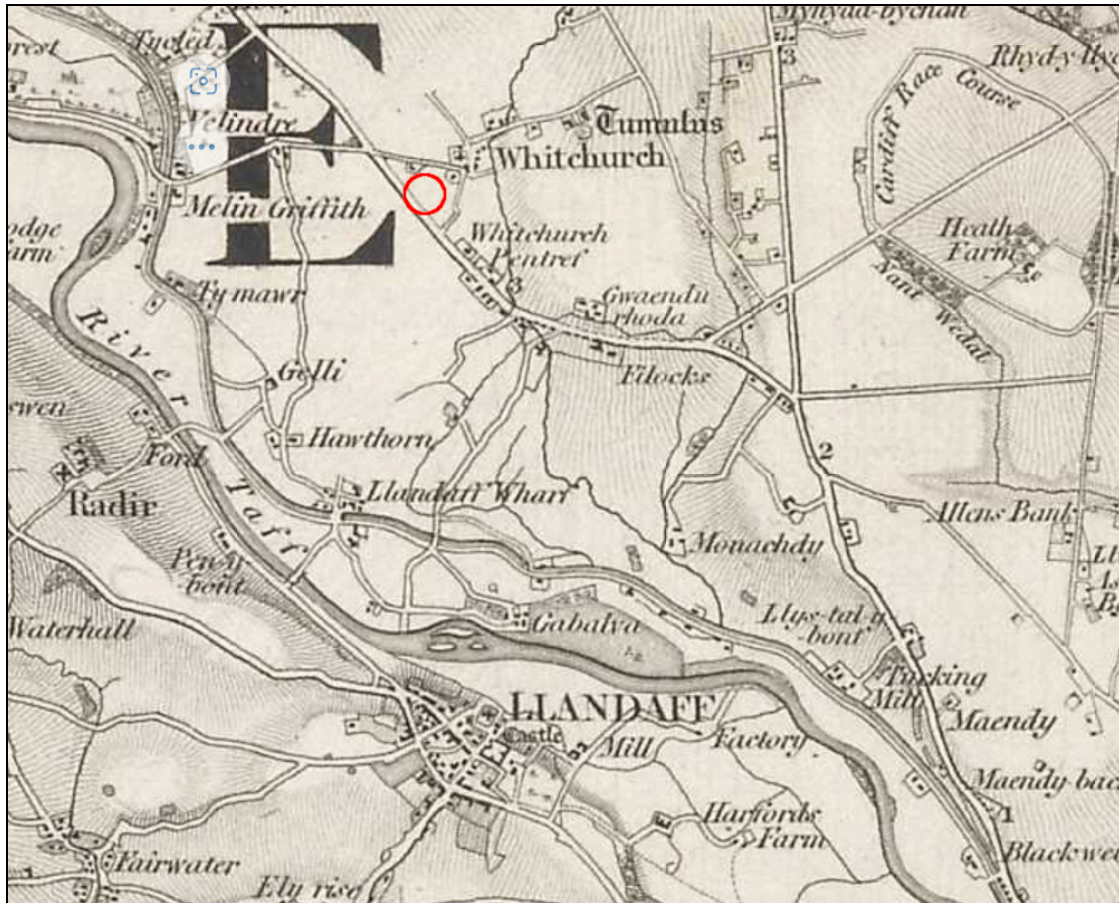


Figure 5: The 1833 Ordnance Survey First Series map of the Llandaff and Whitchurch area. This map again shows that there was no development around the site of Six Gables at this date (ringed in red).

4.2.3 The Whitchurch parish tithe map of 1840 shows that the land at the site of the present Six Gables was still farmland in the mid-19th century. The site of Six Gable fell within a 2-acre arable field (parcel 226) known as *Dwyer*. The Tithe apportionment of 1840 shows that the field formed part of a 10-acre holding focused on buildings in parcel 203, which was farmed by one Edward Lewis and owned by John Homfray Esq, see Figure 6.

4.2.4 John Homfray (1793-1877) was the grandson of the ironmaster Francis Homfray, who moved to Whitchurch in 1749. His sons Jeremiah and Samuel established the Penydarren Ironworks, Merthyr Tydfil in 1786. John was the son of Sir Jeremiah Homfray, who was declared bankrupt in 1809. John Homfray, however, was married to the daughter of the agent to the Marquess of Bute and was a wealthy man. He purchased the Penllyn Castle estate, Cowbridge in 1846 for £18,000. His ownership of land in the Whitchurch area evidently gave rise to the name of Penlline Road (Penlline being an Anglicised spelling of Penllyn).



Figure 6: The 1840 Whitchurch parish tithe map shows that Six Gables now stands on land which fell within field parcel 226.

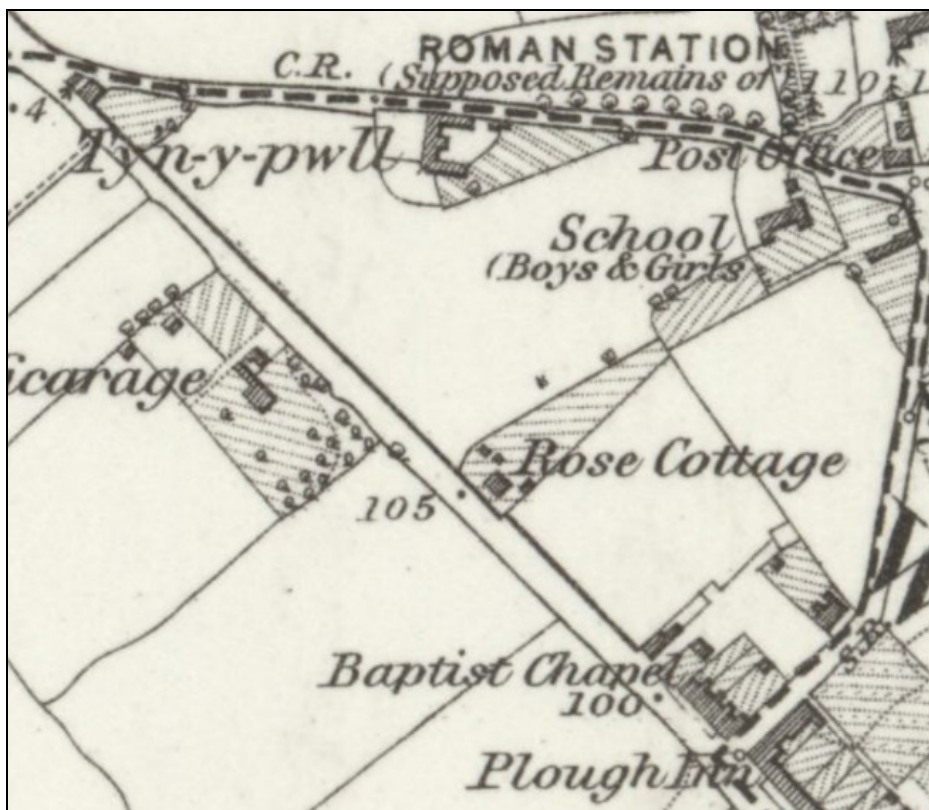


Figure 7: The 1886 1:10560 scale Ordnance Survey map shows that a dwelling named Rose Cottage had appeared within the field which had been numbered as 226 on the parish tithe map.



Figure 8: The 1919 1:2500 scale Ordnance Survey map shows that Rose Cottage had been replaced by the villa known as The Laurels. At a later date, probably after 1950, The Laurels was divided into two villas, The Laurels to the northwest and Six Gables to the southeast.

4.2.5 Later 19th century maps show that residential development had gradually begun to spread along Penlline Road by the 1880s. The 1886 1:10560 map, see Figure 7, shows that a house known as Rose Cottage had been built at the western side of the field numbered 226 on the tithe map. This cottage stood at the southern end of a linear garden, facing Penlline Road.

4.2.6 The date of construction of Rose Cottage is not known. The property is not listed on the 1851 census for Whitchurch, but does appear on the 1861 census, which shows it to be the home of an accountant named James Yeim Morgan. A newspaper report of 1856 (Cardiff & Merthyr Guardian, September 13th) records the death of his mother, Mrs Ann Morgan, at Rose Cottage, indicating that the house must have dated to the period 1851-1856. The household furniture and effects were sold at auction after the death of James Yeim Morgan in 1864 (Cardiff Times, 5th February).

4.2.7 Another sale of furniture and effects at Rose Cottage was recorded in 1867 (Cardiff Times, 5th October) and another on January 3rd, 1872 (Cardiff & Merthyr Guardian, December 30th, 1871). The latter sale was held on behalf of Mr Stuart Stockdale, who appears in the 1871 census returns at Rose Cottage. Edward Stuart Stockdale was a Customs Officer in Cardiff, born in Cardiff and aged 28 at the time of the census. He lived at Rose Cottage with his wife and father-in-law, the latter being a Tax Collector in Whitchurch. Stockdale's brother, a law student, also lived at the address. He also had four young children and a housemaid and nurse also lived at the property. Clearly, Rose Cottage was a reasonable large residence.

4.2.8 The 1881 census does not appear to name Rose Cottage, but the 1880 edition of Slaters Trade Directory lists a Mrs Rhoda Jenkins at the address. She is recorded as a widow of independent means on the 1881 census, but under the general street address of "Tongwynlais".

4.2.9 At some point during the later 19th century a significant change happened. Although it is not known precisely when this occurred, the change is recorded by the 1901 Second Edition of the 1:10560 scale Ordnance Survey map (revised in 1898), see Figure 8. This map shows that Rose Cottage had been replaced by a much larger villa known as The Laurels. A comparison of the 1886 map and the 1919 map suggests that Rose Cottage may have been incorporated into the new villa, forming its western wing, with a larger wing added to its eastern side and its garden extended eastwards. This eastern wing is the property now known as Six Gables. The 1919 and 1946 1:2500 scale Ordnance Survey maps show the

arrangement in more detail, and are similar to the present layout of buildings at this site.

- 4.2.10 Although it is not known precisely when The Laurels was constructed, it is clear that the change had occurred during the 1880s. The 1891 census records that the residence was known as The Laurels, with Rose Cottage no longer existing. The occupier of The Laurels in 1891 was a dentist named Edwin Robert Gay, aged 56, who lived here with his wife Margaret and a female domestic servant and male groom. The residence had a stable and coach house to its western side. Interestingly, a newspaper advert for a Groom/Gardner to work at The Laurels was placed in the press in 1891 (South Wales Daily News, December 3rd 1891). Edwin Gay had practiced as a dentist in Merthyr Tydfil before relocating to Whitchurch. The couple were still resident at The Laurels in 1901.
- 4.2.11 The 1911 census returns show that The Laurels was occupied only by a domestic servant, but the return was signed by Reginald Norman Jones, who was presumably absent on the day of the census. The servant was one Margaret Ann Price, who came from Cefn Coed, Breconshire. The head of the household, Reginald Norman Jones, was who was the son of Mr T.J. Jones of Cilsanws, Cefn Coed, Breconshire and was later the sales manager of the Lewis-Merthyr Consolidated Collieries (Brecon County Times, November 20th, 1916).
- 4.2.12 Auction particulars held by the Glamorgan Record office (DSA/6/549) dating to 1920 show that in that year the Penllyn Castle estate disposed of its Whitchurch properties. The Laurels is named amongst the properties to be sold.
- 4.2.13 At the time of the 1939 census register, The Laurels was occupied by a widow named Laura M.E. Jenkins, aged 72. The South Wales phonebook of the same year, however, records that Mr W.D. Jenkins, Merchant resided at The Laurels. Despite his name remaining in the telephone directory, William David Jenkins was a senior partner in the drapery firm Findlay, Jenkins & Co. in Cardiff who had passed away in 1937. He left over £13,000 to his wife who continued to reside at The Laurels.
- 4.2.14 The Laurels was sold again in 1950 and a relatively detailed and informative description of the house was published in newspaper advert publicising the public auction of the property (Western Mail and South Wales News, 6th July 1950, p.6);

"Lot 4. The Detached Freehold Residence 'The Laurels,' Penlline Road, Whitchurch. Drawg. Rum., Morning Rm., Large Dining Rm.,

Fitted China Pantry, Tiled and Fitted Kitchen and Larder, Back Kitchen and Scull., Good Cellars. Grd. Flr.: Lav., WC., and Cloaks Recess, 5 Nice Bedrooms, Large Landing, Bathroom with Bath and Lav. Basin. Boxroom and W.C, Extensive Grds. With Coach-house, Garage, Stables &c. Area approx.. ¾ acre. Total R.V. (rateable value) £67.

If Lot 4 is not Sold in one Lot the property will be offered in two Lots as two Semi-detached Residences. Particulars of this can be obtained from the Auctioneers Offices."

4.2.15 It is possible that the division of The Laurels into two separate houses occurred during the 1950s. Anecdotal evidence provided by neighbours to Six Gables suggests that the division was made well before the time of the current occupants of both houses.

4.2.16 In 1975, the Laurels and Six Gables were protected as Grade II listed buildings, described as small mid C19 villas in Tudor style having group value with each other.

4.3 Aesthetic Value

4.3.1 The aesthetic value of Six Gables resides mainly in the front façade facing Penlline Road where, along with the attached listed building to its northwest, it provides an attractive and interesting building in the streetscape.

4.3.2 The building was listed as a good example of a villa style house dating to the second half of the 19th century. It is appreciated in conjunction with the Laurels, next-door, with which it has group value. Originally, they formed two parts of a single villa residence.

4.3.3 Six Gables is particularly valued for its decorative bargeboards and trellised iron verandah, and the Tudor style front-facing gables and drip moulds above the windows.

4.4 Communal Value

4.4.1 The communal value of Six Gables is High in view of its high visibility in the streetscape, especially in conjunction with The Laurels next-door. This value is also heightened by the fact that Six Gables has been used as a dental surgery for many years and members of the public access the building and its environs on a daily basis.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals on the Listed Building

- 5.1 The proposed changes would not affect the façade of Six Gables, which is the most visible part of the building and the element of the building which give it most significance.
- 5.2 In terms of external appearance, the proposed changes would affect the rear of the building but this is hidden from view from the street views by adjacent buildings. None of the highly valued architectural features referred to in the listing description are found in this part of the building (such as decorative barge boards, drip moulds or the trellised verandah). The rear of the building is plain and functional, and parts have been modernised in the past, with uPVC windows and doors used in all openings.
- 5.3 The interior of the building was not viewed at the time of listing (1975) or during the listing resurvey (2001). Trysor had access to all parts of the building during the survey for this assessment and, after comments from the planning officers, revisited the building and looked at certain aspects in detail. As the building has served as a dental surgery for several decades, almost all original features appear to have either been removed or hidden behind modern plaster. The only internal feature of note which may survive is the staircase, which appears to remain in its original position but has had its balustrade boarded in and the treads and risers either replaced or hidden by modern vinyl. Three relatively plain newel posts on the first-floor landing, topped with flat, octagonal caps, were the only visual clue to the possible survival of more of the original staircase behind the modern boarding. This has not been explored further, but in the revised design the stair will now be retained in use.
- 5.3.1 There are two chimney breasts still present in Rooms A and C but with no visible fireplace or hearth. A dado rail runs across the front of each suggesting it was applied after the fireplace went out of use and was blocked up. There is decorative coving on one wall of Room C and two walls of Room E. These two rooms may have been one previously as the wall dividing them is a later insertion. In Room A coving runs around the top of the entirety of the wall.
- 5.4 The most significant of the proposed changes would be the removal of the two ground floor extensions at the rear of the building, Rooms B and D, see Figure 9. These appear to be original parts of the building, but they have been heavily modified in modern times and have no original features of historic significance visibly remaining, internally or externally. These would be replaced by a

larger, single-storey, extension to the rear, which would include an additional treatment room, office space, new reception and waiting room.

- 5.4.1 To access the proposed new rear extension, a small section of original wall fabric at ground floor level would be removed, to open a new doorway leading from the existing reception/waiting area, Room A, into the new waiting room. This will remove a section of walling adjacent to the chimney breast and interrupt the skirting and dado rail. The high ceilings mean that the coving could be left in place above the new access.
- 5.4.2 In this revised design there would be no new access needed through the original fabric at the first-floor level.
- 5.5 The proposed changes would not affect the façade of Six Gables, which is the most visible part of the building and element of the building which give it most significance.
 - 5.5.1 The changes would see the removal of plain, functional and modernised part of the building and replaced with a larger single-storey element, located at the rear of Six Gables and not visible in views of the property.
 - 5.5.2 The changes would not impact on the significance of the adjacent listed dwelling, The Laurels. This is set further forward towards the roadside and is separated from Six Gables by an existing high wall backed by a high hedge, as well as a number of mature trees, which will remain in place and continue to screen views.

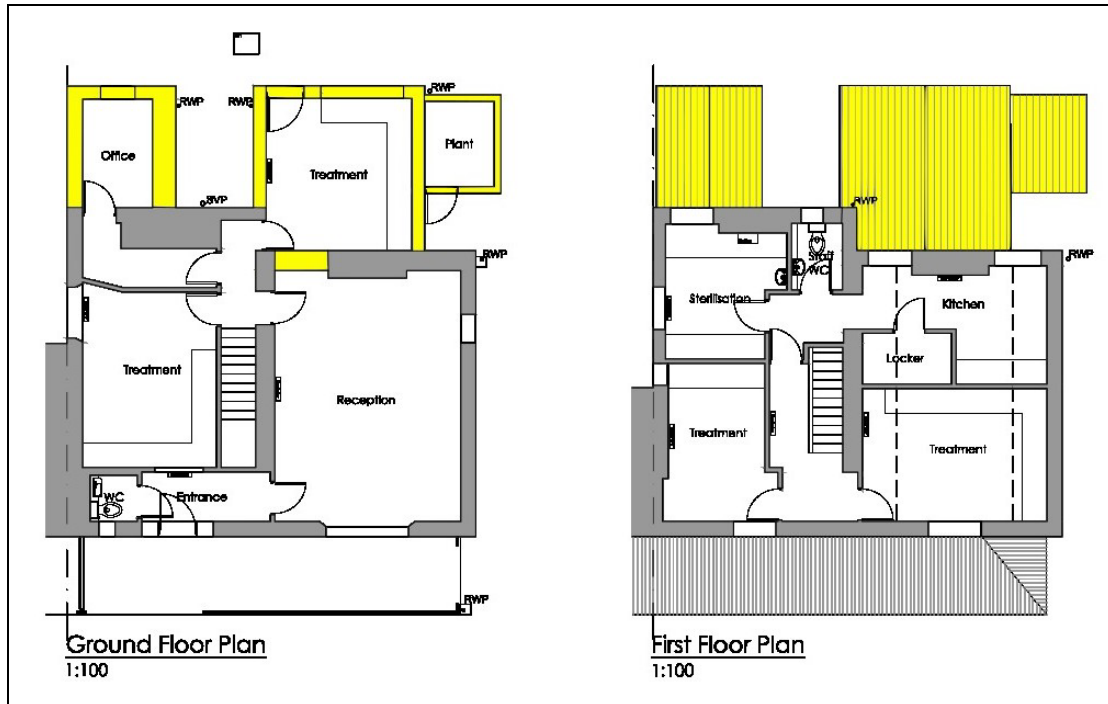


Figure 9: The proposed removals of fabric to the existing structure at Six Gables marked in yellow on the current plan of the building.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process.*

6.1 The proposed development would expand the services offered at the Six Gables Dental Surgery by the creation of a new, single-storey wing to the rear of the building.

6.1.1 The proposed development seeks to avoid any impact on the defining character of this listed building and its key architectural details. Hence there will no impact on the façade of the building.

6.1.2 Following the HIA Methodology, the original design has been revised to significantly lowering the ridge line of the proposed extension so not only is it subservient to Six Gables and it would not impose on the Laurels. It will make it easy to differentiate between the original building and the modern extension.

6.1.3 Six Gables has been extensively modernised internally, and to the rear, as the result of several decades of use as a dental surgery. There would be no loss of visible architectural features of note. A small part of the original rear wall fabric will be removed to create the new access into the extension. This will remove a section of the dado rail and skirting but these are thought not to be original. The height of the ceilings means the coving can be retained above the new access. Room A will be divided in two and this should be in such a manner to retain the coving, dado and skirting and allow for the removal of the partition in the future.

6.1.4 The design of the proposed rear extension is modern and functional and limited purely to expanding the services of the dental surgery.

7. Conclusion

- 7.1 The proposed development at Six Gables Dental Surgery will extend the building to the rear, removing existing small, single-storey extensions and replacing them with a larger, single-storey extension which will include new waiting room, office space and a treatment room.
- 7.2 The proposed change will not impact on the important architectural details visible on the façade of the building, facing Penlline Road, but will focus on the small, single-storey extensions to the rear. Externally, the rear of the building is plain, functional and modernised.
- 7.3 The proposed change would not see the removal of any significant architectural features. The only change in layout within the existing building will be the division of the current waiting room/reception area, Room A, into two treatments rooms and a corridor, and the current entrance hallway, Room F would become an emergency exit only.
- 7.4 The proposals would see the removal of a small sections of original wall fabric to create a new doorway into the proposed rear extension at ground floor level, as well as the removal of the two small, single-storey modernised existing extensions. These would be replaced with a larger, single-storey extension which would include a new waiting room, office space and treatment room to expand the services offered by the dental surgery.
- 7.5 The proposed change will not impact on key views of the property from Penlline Road. There are no key views of or from the rear of the building at present.
- 7.6 The proposed change would not impact on key views of The Laurels, the adjoining listed building, which is set closer to the road than Six Gables and separated from it by a high wall, high hedge and several mature trees, all of which will be retained.
- 7.7 The changes in the revised design following initial planning application have further reduced the impact of the proposals.

8. Bibliography

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Ordnance Survey, 1811, 2 inches to 1 mile, Ordnance Surveyors
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Ordnance Survey, 1886, 1:10560 scale First Edition map, Glamorgan
XLIII. NW sheet.

Ordnance Survey, 1901, 1:10560 scale First Edition map Glamorgan
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Ordnance Survey, 1919, 1:2500 scale Glamorgan XLIII.2

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Whitchurch parish tithe map, 1840

8.1 Online sources

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Appendix A: Photographs

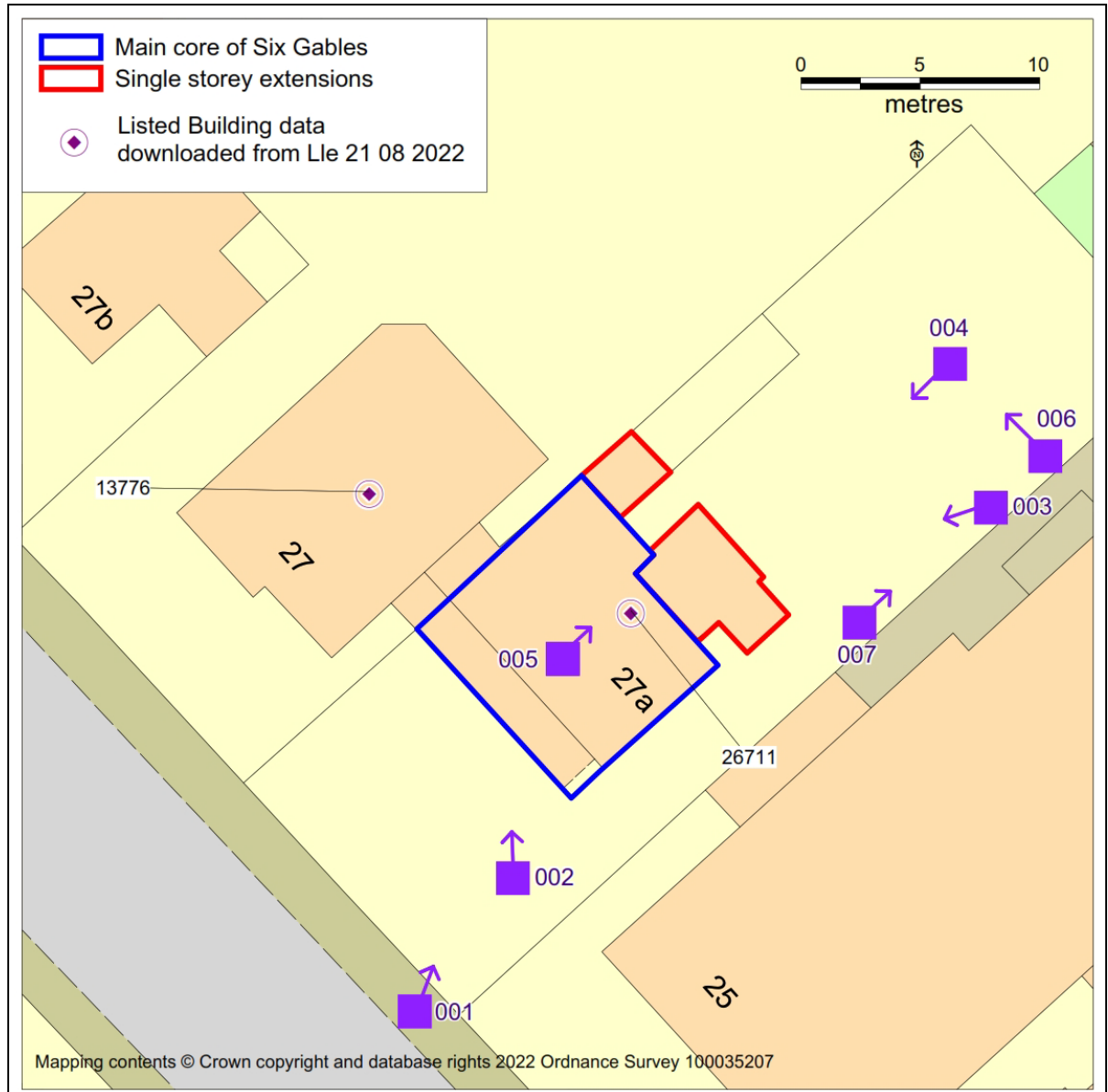


Figure 10: Location of photographs 001 to 007

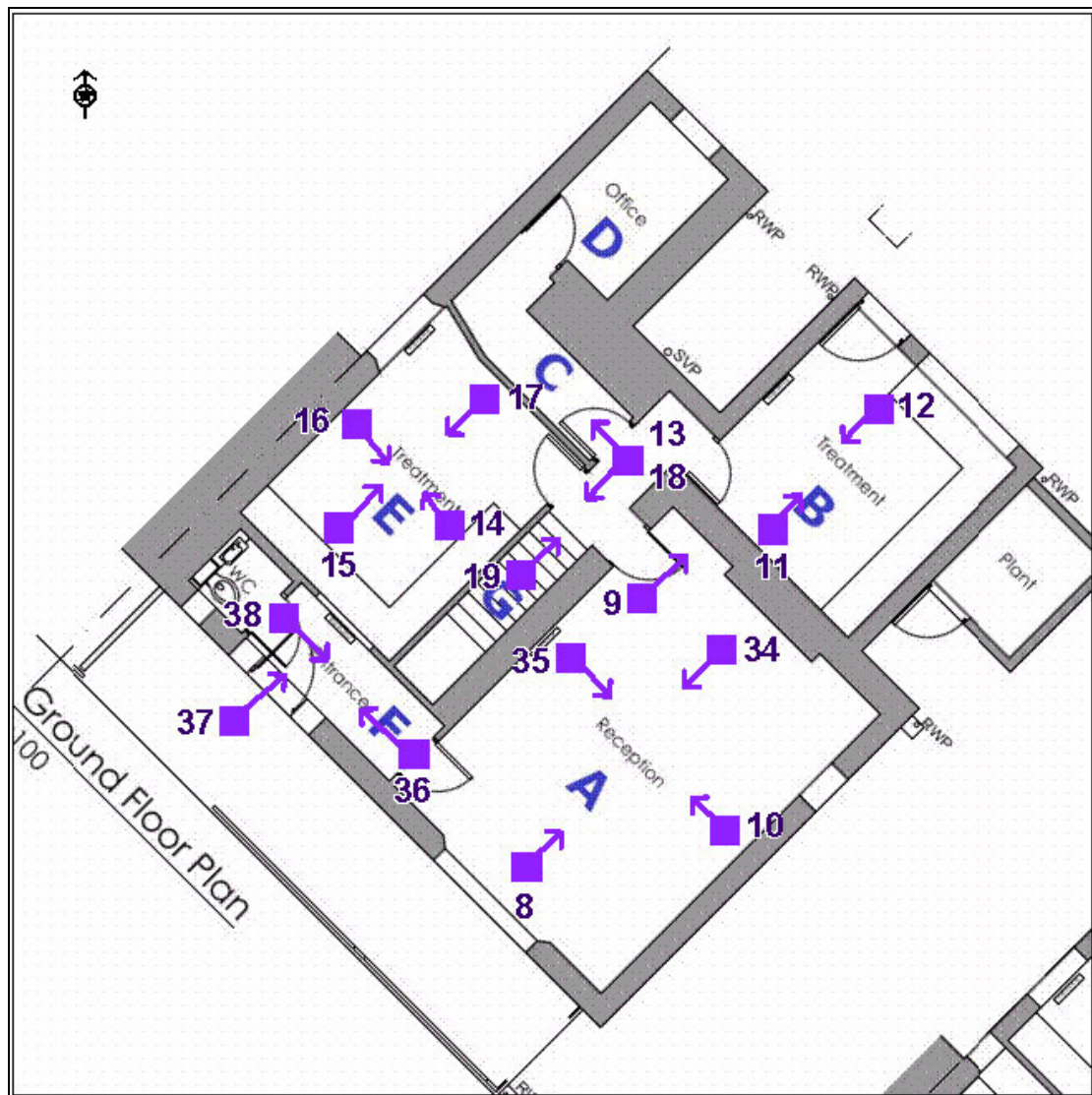


Figure 11: Location of photographs on the ground floor

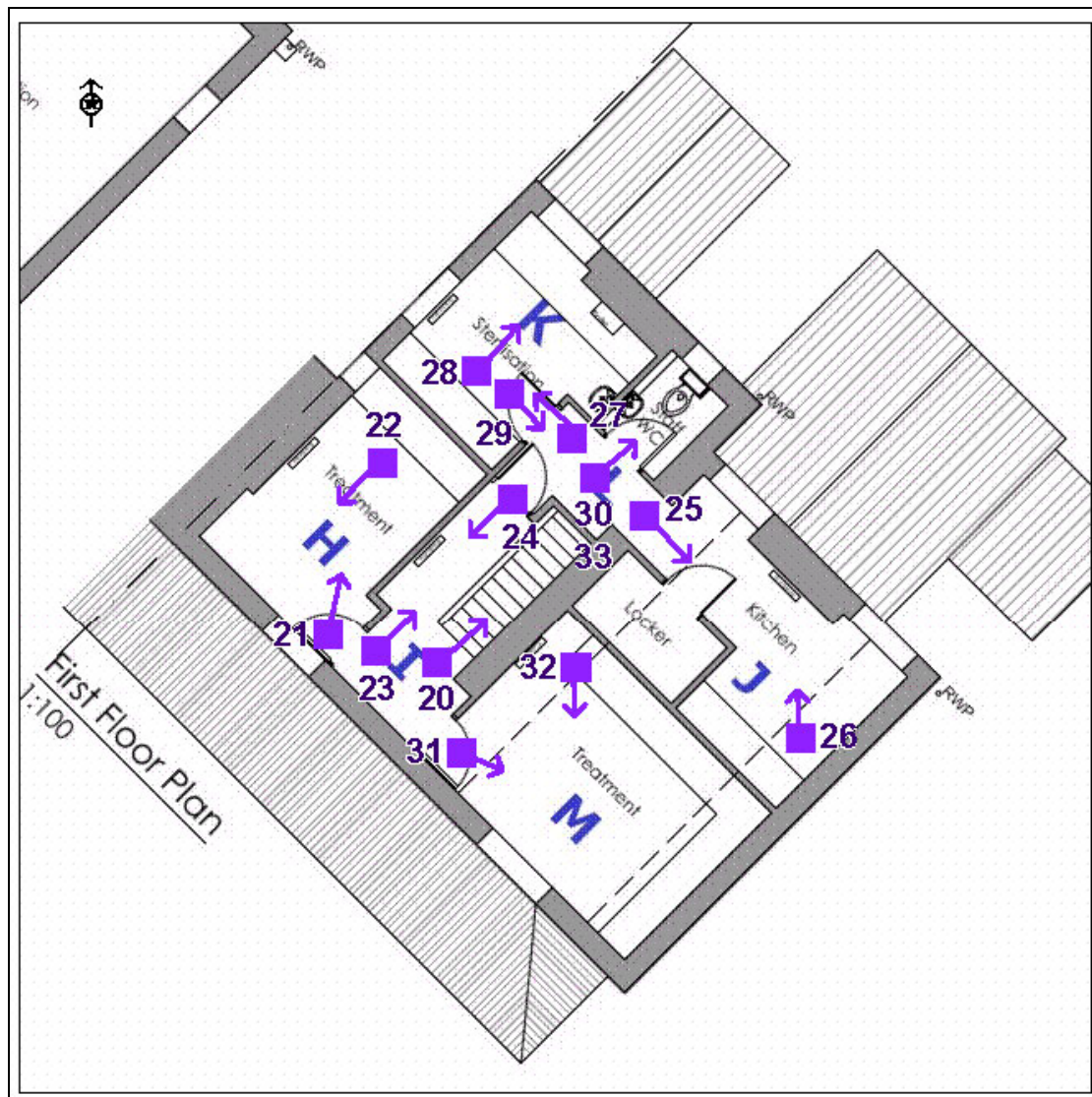


Figure 12: Location of photographs on the first floor



Plate 1: SGB2022_001, A view of the façade of Six Gables, seen from Penlline Road. Looking north-northeast. September 2022.



Plate 2: SGB2022_002, A view of the trellised iron verandah at the front of Six Gables. Note the decorative barge boards of Six Gables, which are the same as those of The Laurels, seen to the left. Looking north. September 2022.



Plate 3: SGB2022_003, A view of the rear of Six Gables. The two small extensions would be removed to make way for a single, single-storey extension. The roof line of the new extension would be significantly below the eaves of the rear gables to differentiate between the new and old builds. Looking west-southwest. September 2022.



Plate 4: SGB2022_004, A view the rear of Six Gables. Looking southwest. September 2022.



Plate 5: SGB2022_005, A view of the staircase inside Six Gables. It has been modernised but the original balustrade may be hidden behind the boarding around the landing. Looking northeast. September 2022.



Plate 6: SGB2022_006, A view of the high wall, hedge and trees which define the boundary between Six Gables and the next-door property, The Laurels, looking northwest. These will screen views of the lower part of the new development from The Laurels. September 2022.



Plate 7: SGB2022_007: A view of the car park to the rear of Six Gables.. Looking northeast. September 2022.



Plate 8: SGB2022_008, Room A, the current reception room, looking northeast. The covings, dado rail and skirtings are consistent around the room. The dado rail and skirting continue right across the chimney breast which suggests that they are not original and post-date the last use of the fireplace, now blocked in. The coving is a different design from that seen in Rooms C and F in simple linear design rather than a swag. This again suggests that it is of a different date from the other coving. May 2023



Plate 9: SGB2022_009: This section of wall would be cut through to create an access from Room A into the new rear extension, looking northeast. The skirting and dado rail would be lost in this section, but the coving could be retained, (these features may not be original). May 2023



Plate 10: SGB2022_010, Room A, looking northwest, showing the coving, dado rail and skirting that continues around the room, but are probably not original. The doors are modern, although the door frames may be original. May 2023



Plate 11: SGB2022_011: Room B, looking northeast, which will be removed and replaced with a larger extension. Internally there are no visible historic features – the window and doors are modern and there are no covings, dado rails or skirtings. May 2023



Plate 12: SGB2022_012, Room B, looking southwest, which will be removed and replaced with a larger extension. Internally there are no visible historic features – the window, doors and door frames are modern and there are no covings, dado rails or skirtings. May 2023



Plate 13: SGB2022_013: Room C – a corridor created by the modern wall inserted on the left-hand side. The right-hand side is a chimney breast and the dado rail and skirting may post date the last use of the chimney as the skirting and dado run across with no apparent join. The skirting on the modern wall matches that on the chimney breast. What may be original is the decorative coving at the top of the right-hand side which has a repeating pattern of what is probably a simple stylised swag and drop but later trunking obscures it. May 2023



Plate 14: SGB2022_014, Room E, looking northwest. An older sash window remains on the northwest side and there is a simple, stylised swag coving at the top of the northwest and south west walls. The northeast wall is a modern insertion as well as the wall to the southwest, against the staircase. There is no dado rail. There is skirting but this may be later as it matches all around the room. The door is modern, the door frame may be original. May 2023



Plate 15: SGB2022_015: Room E, looking northeast. An older sash window remains on the northwest side and there is a simple, stylised swag coving at the top of the northwest and south west walls. The northeast wall is a modern insertion as well as the wall to the southwest, against the staircase. There is no dado rail. There is skirting but this may be later as it matches all around the room. The door is modern, the door frame may be original. May 2023



Plate 16: SGB2022_016, Room E, looking southeast. The northeast wall is a modern insertion as well as the wall to the southwest, against the staircase. There is no coving, dado rail or skirting on this wall. The door is modern, the door frame may be original. May 2023



Plate 17: SGB2022_017: Room E, looking southwest. The northeast wall is a modern insertion as well as the wall to the southwest, against the staircase. There is no dado rail or skirting on this southwestern wall visible but there is the swag coving. The window, onto corridor Room F, is modern. May 2023



Plate 18: SGB2022_018, Looking southwest up the stairs. There are elements of the stairs which suggest the original stairs are still in place and just covered over. May 2023



Plate 19: SGB2022_019: Narrow corridor that leads to the current eastern extension, looking northeast. May 2023.



Plate 20: SGB2022_020, A view down the stairs showing the newel post and the boarded side of on the left which may hide the balusters of an open rail. May 2023



Plate 21: SGB2022_021: Room H, looking north. No coving, or dado. There is some skirting but whether it is original is not clear. The small window on the northwest side is modern. May 2023.



Plate 22: Room H, looking southwest. The door is modern, although the door frame may be older. The window is original, one of the windows on the front of the property. SGB2022_022, May 2023



Plate 23: SGB2022_023: Upstairs landing, looking northeast. The landing rail may be original with the balustrades hidden behind boarding. The door at the end of the corridor is modern. To its right can be seen one of the roof timbers. The northeast end of the landing rail is enclosed by wall and suggests that originally that end was open with no wall. May 2023.



Plate 24: SGB2022_024, Upstairs landing, looking southwest. The landing rail may be original with the balustrades hidden behind boarding. May 2023



Plate 25: SGB2022_025: Room J, looking southeast. No original features can be seen. May 2023



Plate 26: SGB2022_026, Room J, looking north. The two rear windows into this room are modern UPVC. May 2023



Plate 27: SGB2022_027: Room K, looking northwest. No original features visible and windows are modern UPVC. May 2023



Plate 28: SGB2022_028, Room K, looking northeast. The window to the rear is modern UPVC. May 2023



*Plate 29: SGB2022_029: Looking southeast from Room K to Room J. It is not clear if and how the layout of the first floor differs from the original.
May 2023*



Plate 30: SGB2022_030, Door from landing L to the staff toilet, looking northeast. May 2023



Plate 31: SGB2022_031: Room M, looking east-southeast with one of the original windows on the front of the property. No other original features are visible. May 2023



Plate 32: SGB2022_032, Room M, looking south towards the one of the original windows on the front of the property. No other original features are visible. May 2023



Plate 33: SGB2022_033: View into the staff toilet, looking northeast. The window is UPVC and no other original features are visible. May 2023



Plate 34: SGB2022_034, Room A, looking southwest, showing the coving, dado rail and skirting that continues around the room, but are probably not original. The doors are modern, although the door frames may be original. The main window is original on the front of the property. May 2023



Plate 35: SGB2022_035: Room A, looking southeast, showing the coving, dado rail and skirting that continues around the room, but are probably not original. The window to the side may be original or at least has not been replaced by UPVC. May 2023



*Plate 36: SGB2022_036, The current entrance hallway, looking northwest.
May 2023*



Plate 37: SGB2022_037: Looking through the front door, into hallway Room F, looking northeast. May 2023



*Plate 38: SGB2022_038, Looking southeast along hallway, Room F
towards Room A. May 2023*



Plate 39: SGB2022_039: Looking southwest from the car park to the rear of Six Gables towards the road, showing the narrow access and adjacent buildings which block views to the rear of the property. May 2023