

Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (P/2019/0647)

January 2025 v1.0





Photographic Survey

Project Code: A0517.1

Report no. 0506

Event PRN: 221221



Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (P/2019/0647)

January 2025 v1.0

Report no. 0506 / Event PRN:221221

Photographic Survey

Aeon Archaeology Obsidian Offices Chantry Court Chester CH1 4QN

Written by: Josh Dean BA ACIfA

Checked by: Richard Cooke BA MA MCIfA



Project Code: A0517.1 Date: 10/01/2025

Client: Plant & Robinson Construction Ltd

info@aeonarchaeology.co.uk



Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (P/2019/0647)

January 2025 v1.0

Copyright Declaration:

Aeon Archaeology grants permission for the material presented within this report to be used by the archives/repository with which it is deposited, in perpetuity, although Aeon Archaeology retains the right to be identified as the author of all project documentation and reports, as specified in the Copyright, Designs and Patents Act 1988 (chapter IV, section 79). The permission will allow the repository to reproduce material, including for use by third parties, with the copyright owner suitably acknowledged.

Disclaimer:

This Report has been prepared solely for the person/party which commissioned it and for the specifically titled project or named part thereof referred to in the Report. The Report should not be relied upon or used for any other project by the commissioning person/party without first obtaining independent verification as to its suitability for such other project, and obtaining the prior written approval of Aeon Archaeology. Aeon Archaeology accepts no responsibility or liability for the consequences of this Report being relied upon or used for any purpose other than the purpose for which it was specifically commissioned. The entitlement to rely upon this Report rests solely with the person/party which commissioned it and does not extend to any other person/party. Aeon Archaeology accepts no responsibility or liability for any use of or reliance upon this Report by any person/party other than the commissioning person/party.



Figures

- **Figure 01:** Location of Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL139RY (SJ 40872 50535). Scale 1:10,000 at A4.
- **Figure 02:** Location of Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL139RY (SJ 40872 50535). Scale 1:5,000 at A4.
- Figure 03: Location of Barns (1-5) at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535). Scale 1:1,000 at A4.
- **Figure 04:** Location of external photographic plates taken during survey of the barns at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535). Scale 1:1,000 at A4.
- **Figure 05:** Ground floor plan, showing location of photographic places, of the barns at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535). Scale 1:200 at A3.

Plates

- **Plate 01:** Oblique view of agricultrial barns, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the east 2.00m scale
- **Plate 02:** SE gable elevation (south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 03: SE gable and farmhouse, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the south 2.00m scale
- Plate 04: NE elevation (left), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- **Plate 05:** Example of embrasure, window and loft hatch in NE elevation, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- Plate 06: NE elevation (centre), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- Plate 07: NE elevation (right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- **Plate 08:** Oblique view of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the east 2.00m scale
- Plate 09: SE elevation of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 10: Dovecote and embrasure in SE of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 11: Oblique SE and NW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the east 2.00m scale
- Plate 12: NE gable elevation (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- Plate 13: Oblique NE and NW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the north 2.00m scale
- Plate 14: NW elevation (left), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest 2.00m scale
- Plate 15: NW elevation (right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest 2.00m scale
- Plate 16: Oblique NW and SW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the west 2.00m scale
- Plate 17: SW gable elevation (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest 2.00m scale
- Plate 18: SW elevation (south barn) left, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest 2.00m scale
- Plate 19: SW elevation (south barn) centre, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest 2.00m scale
- Plate 20: SW elevation window & wall tie, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest 2.00m scale
- Plate 21: SW elevation (south barn) right, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest 2.00m scale
- Plate 22: Interior, GF (south barn), milking parlour, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale

Plates (2)

- Plate 23: Interior, GF (south barn), milking parlour stalls, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 24: Interior, GF (south barn), milking parlour (south end), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest 2.00m scale
- Plate 25: Interior, GF (south barn), milking parlour, concrete stalls, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the west 1.00m scale
- Plate 26: Interior, GF (south barn) NE small barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 27: Interior, GF (south barn) SW small barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 28: Interior, GF (south barn) workshop, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the south 2.00m scale scale
- Plate 29: Interior, GF (south barn) workshop, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northeast 2.00m scale
- Plate 30: Interior, GF (south barn) small barn SW addition, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 31: Interior, 1F (south barn) roof trusses, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest no scale
- Plate 32: Interior, 1F (south barn) ceiing/roof, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest no scale
- Plate 33: Stall/partition incorporated into (south barn) roof truss, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest 2.00m scale
- Plate 34: Doorway into loft landing, 1F (south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast 2.00m scale
- Plate 35: Doorway into north barn (from south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast no scale
- Plate 36: Central loft, 1F (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southeast no scale
- Plate 37: NW loft, 1F (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest no scale
- Plate 38: NW loft, 1F (north barn) ceiling, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the southwest -
- Plate 39: SE loft, 1F (north barn) ceiling, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the northwest no scale
- **Plate 40:** Gable of south barn, (from north barn) to rear of elevation illustrating building phasing, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the west no scale
- Plate 41: View of roof arrangement, (south barn addition lower to left, higher north barn to right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham from the west no scale

Contents

1.0 INTRODUCTION	. 1
2.0 POLICY CONTEXT	. 2
3.0 REQUIREMENTS	
3.1 Building Record	. 4
4.0 METHOD STATEMENT	
4.1 Photographic Record	. 5
4.1.1 Written Account	. 5
4.1.2 Photographs	. 5
4.1.3 Drawn Record	. 6
4.2 Processing data, illustration, report, and archiving	. 6
5.0 DISSEMINATION AND ARCHIVING	. 7
6.0 DIGITAL DATA MANAGEMENT PLAN	
6.1 Type of study	. 8
6.2 Types of data	
6.3 Format and scale of the data	
6.4 Methodologies for data collection / generation	. 8
6.5 Data quality and standards	. 8
6.6 Managing, storing and curating data	. 9
6.7 Metadata standards and data documentation	
6.8 Data preservation strategy and standards	. 9
6.9 Suitability for sharing	. 9
6.10 Discovery by potential users of the research data	. 9
6.11 Governance of access.	
6.12 The study team's exclusive use of the data	
6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions	
6.14 Regulation of responsibilities of users	10
6.15 Responsibilities	
6.16 Organisational policies on data sharing and data security	
7.0 PHOTOGRAPHIC RECORD	
8.0 SOURCES	13

1.0 INTRODUCTION

Aeon Archaeology was commissioned by Plant & Robinson Construction Ltd, hereafter 'the Client', to produce a Project Design (PD) for carrying out a photographic building survey of agricultural farm buildings at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535), hereafter 'the Site', in advance of conversion of farm buildings to form 6 no. dwellings erection of associated car ports / garages, and change of use of land to allow for the grazing of horses (figures 01-03).

Full planning permission (P/2019/0647) was obtained from Wrexham County Borough Council, hereafter 'the Council', on the 27th January 2020 with the following condition concerning archaeology being applied:

Condition 20

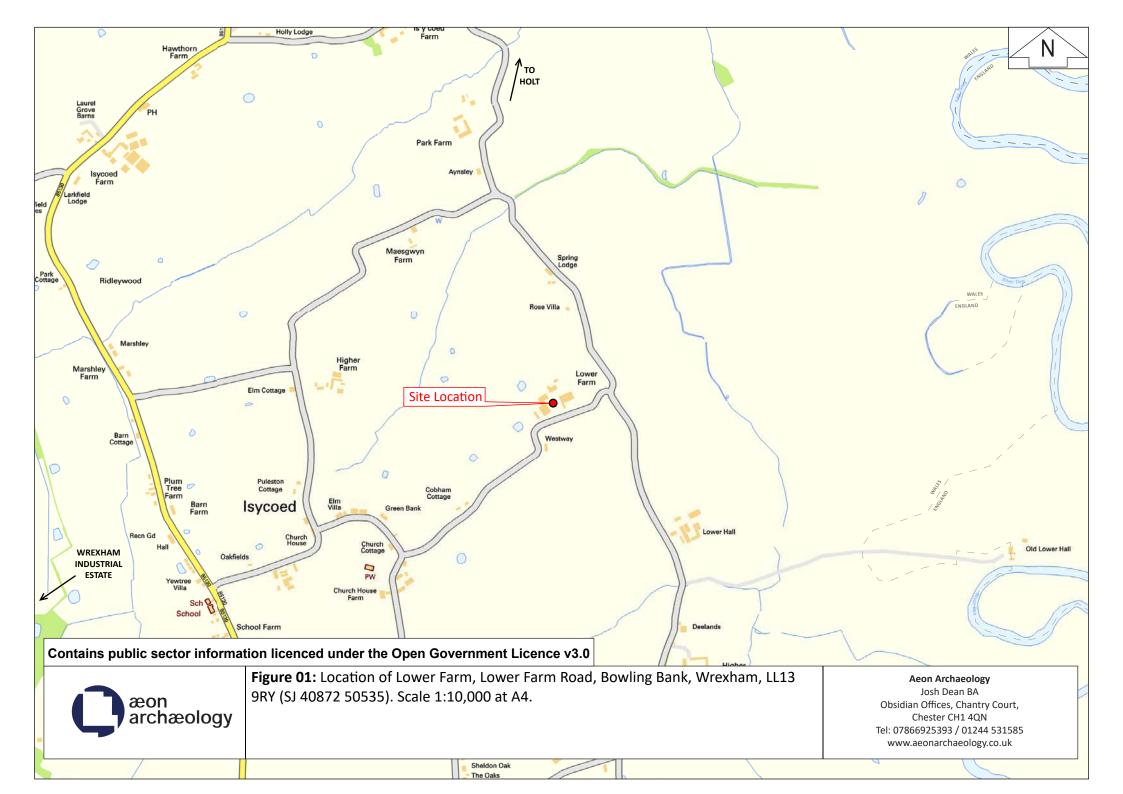
No works shall commence until an appropriate photographic survey, equivalent to an English Heritage Level 1 study, of the existing building/s has been carried out in accordance with details to be submitted to, and approved by, the Local Planning Authority. The resulting digital photographs should be forwarded on a CD to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust, 41 Broad Street, Welshpool, Powys, SY21 7RR. Email:markwalters@cpat.otg.uk Tel: 01938 553670. After approval by the Local Planning Authority, a copy of the photographs should also be sent to the Historic Environment Record Officer, Clwyd Powys Archaeological Trust for inclusion in the regional Historic Environment Record.

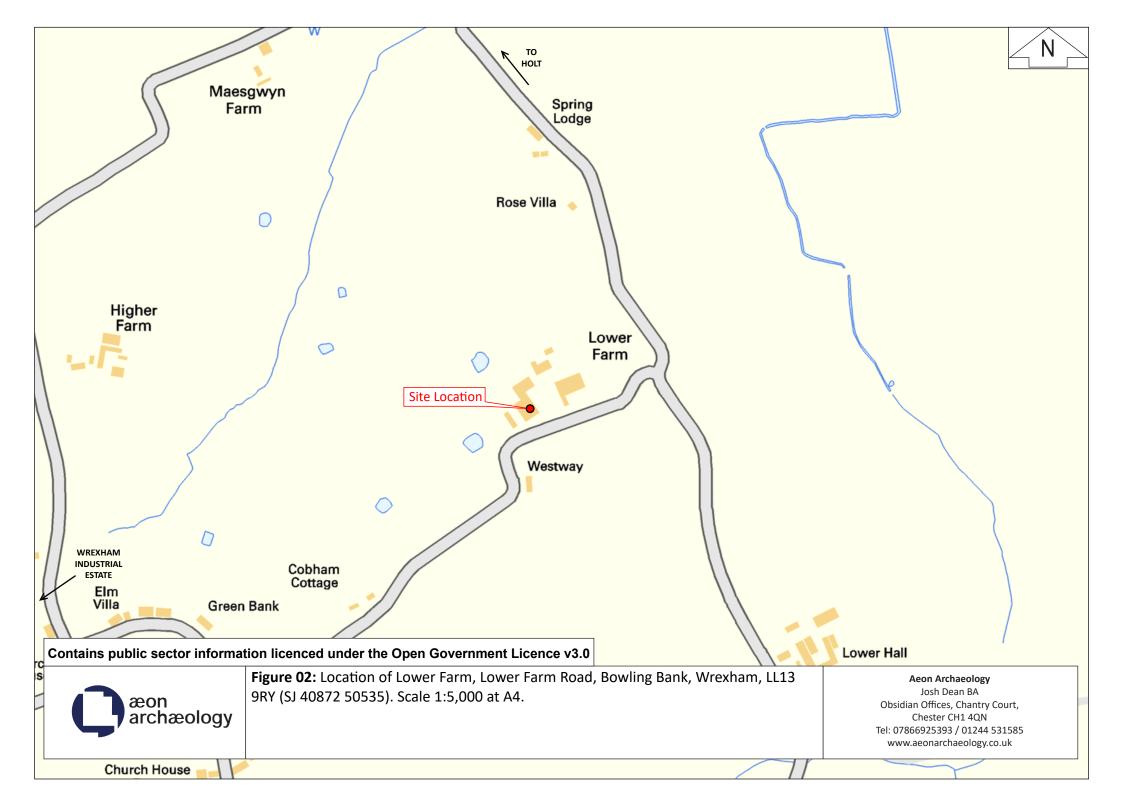
This PD details the aims and objectives of the project and the methods by which they will be met in order to meet the spirit and intent of condition 20 of application P/2019/0647.

It is a requirement that this PD is approved in writing by both the relevant Planning Officer and the Development Management Archaeologist (DCA) at Heneb Clwyd & Powys Archaeology (HCPA) prior to the photographic survey being undertaken.

The northwest to south east aligned portion of the building is present of the tithe map for the County of Denbigh 1843 and so was present on the site from at least this date. The northeast to southwest aligned northern range appears on the 1st edition OS Map (1879) and so likely represents a later addition. The buildings are located in a region known historically as Dutton Diffeth (*Diffaith*).

This design and all subsequent mitigation will conform to the guidelines specified in Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2020).





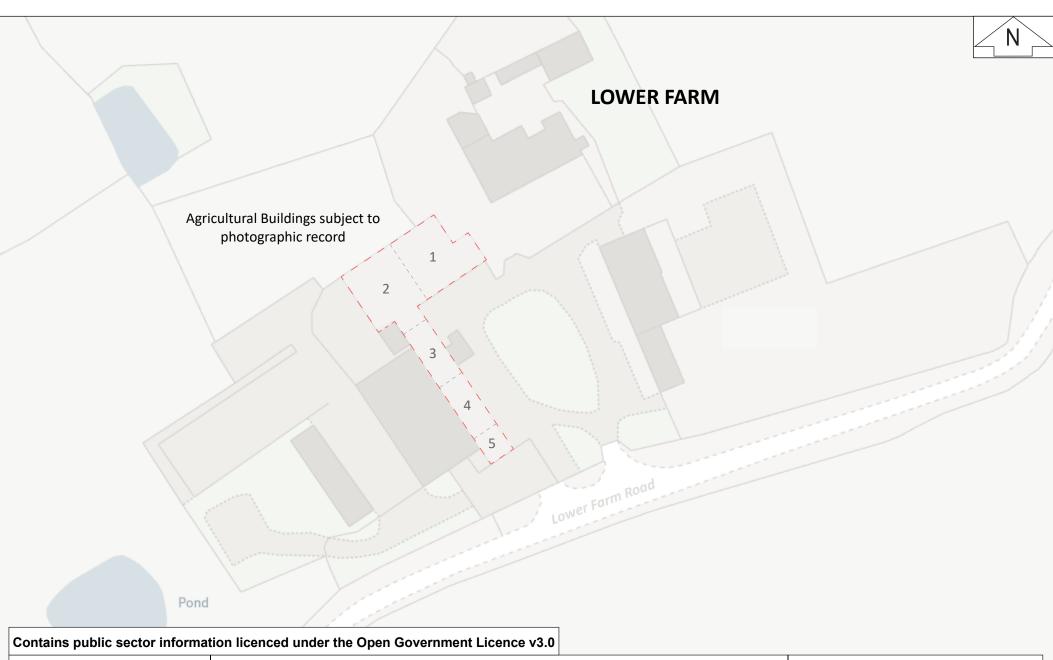




Figure 03: Location of Barns (1-5) at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535). Scale 1:1,000 at A4.

Aeon Archaeology
Josh Dean BA
Obsidian Offices, Chantry Court,
Chester CH1 4QN
Tel: 07866925393 / 01244 531585
www.aeonarchaeology.co.uk

2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and County Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that: -

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses" (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and polices related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general wellbeing of present and future generations. The historic environment is a finite, non-renewable and shared resource, and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 REQUIREMENTS

3.1 Building Record

The requirement was for a Photographic Building Survey of the boundary wall in advance of alteration. However, should observations or desk-based research suggest the potential for significant features to be encountered during the alteration works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DCA at HCPA, as advisors to the Council, has requested that the building record be roughly commensurate with the Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) **Photographic Record**.

A photographic survey provides a very full visual record, but without a written or drawn survey. A photographic survey may be called for when recording a building which has complex and important decoration or historic furnishing but for which there is no need for detailed analysis.

It may also be appropriate in recording a building of well-known type which is under threat but where existing documentation is in other respects adequate or when for some other reason drawings and historical analysis are not required.

The photographic survey will consist of Historic England's 'Understanding Historic Buildings: a guide to good recording practice' (2016) elements:

• written account: HE Guidance 2016 4.4.8 Items 1-9

• photographs: HE Guidance 2016 4.5.2 Items 1-5 (6 optional) and 7

drawn record: HE Guidance 2016 4.3.3 Items 7 and 8

4.0 METHOD STATEMENT

4.1 Photographic Record

4.1.1 Written Account

The written account will include:

- a. The precise location of the building as an address and in the form of a National Grid reference.
- b. A note of any statutory designation (that is, listing, scheduling, Register of Historic Parks and Gardens, conservation area), where applicable. Information on statutory designations can be found on the CADW website. Non-statutory designations (local lists) may be added.
- c. The date when the record was made, the name(s) of the recorder(s) and the location of any archive material.
- d. A summary statement. This account should describe the buildings type and purpose, historically and at present, its materials, and possible date(s), so far as these are apparent from a superficial inspection.

4.1.2 Photographs

The photographic record will include:

- a. All photographs will be given a unique number to be used for identification. This unique number should be used in the labelling of digital images.
- b. A general view or views of the building (in its wider setting or landscape).
- c. The building's external appearance. Typically, a series of oblique views will show all external elevations of the building, and give an overall impression of its size, shape and immediate setting. Where individual elevations include complex historical information, it may also be appropriate to take views at right-angles to the plane of the elevation.
- d. The overall appearance of the principal rooms and circulation areas.
- e. Any external or internal detail, structural or decorative, which is relevant to the buildings design, development, and use, with scale where appropriate.
- f. A photographic register detailing the photo number, the location and direction of each view, and the composition of the shot.
- g. Photograph locations and directions of view should be marked on plans of each building separate photographed
- h. Photographs should be of archive quality using a digital SLR (minimum 12 megapixel)
- i. Photographs, where appropriate (i.e., not general shots) should include a clearly visible, graduated metric scale.
- j. Photographs should be adequately lit and not blurry. Please check all photos before leaving the survey area and before submitting the final report and retake any blurred or poorly lit photos.

A Digital SLR (Canon 600D) set to maximum resolution with appropriate photographic scale will be used throughout.

4.1.3 Drawn Record

The drawn record will include:

- a. A plan showing the location and direction of view of each photograph. A separate plan should be provided of all floors affected by the proposed development.
- b. Standard drawing conventions must be used, as depicted in Historic England (2016) Understanding Historic Buildings. A guide to good recording practice pp.35-40

4.2 Processing data, illustration, report, and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.
- An updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy will be included

5.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material, and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

A draft copy of the report will be produced within six weeks of the completion of the fieldwork and will include an updated Data Management Plan (DMP) and an archive content list with updated archive Selection Strategy. A copy of the report will be sent to the Client and the DCA at HCPA for comment prior to finalisation of the report and dissemination. Digital copies of the report and archive will be sent to the regional HER and the DCA at HCPA, with the original paper and digital archive being deposited with the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW) for long term archiving. Furthermore, a summary of the project will be sent to *Archaeology in Wales* for publication.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2018 updated 2022) including the translation of a non-technical summary into the medium of Welsh.

6.0 DIGITAL DATA MANAGEMENT PLAN

6.1 Type of study

A photographic building survey of 'L shaped' agricultural barns at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535)

6.2 Types of data

File name	File Contents	Linked File(s)	Number of files
A0517.1 Lower Farm, Wrexham PS 1.0.PDF	PDF report		1
A0517.1_001 - A0517_1 _050.JPG	JPEG site images	A0517.1 _Metadata	102
A0517.1 _001 - A0517_1 _050.TIF	TIF site images	A0517.1 _Metadata	102
A0517.1 _Metadata.XLSX	Excel file of photographic metadata	A0517.1_001 - A0517.1_050 (JPEG and TIF)	1
Digital Proformae (Descriptions, .TXT)	1 x text documents		1

All data generated during this project has been selected for archive

6.3 Format and scale of the data

_

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

6.4 Methodologies for data collection / generation

Digital data was collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2020). Sections 3.3.1 and 3.3.3 are relevant:

- 3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.
- 3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance, in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

6.5 Data quality and standards

Consistency and quality of data collection / generation was controlled and documented through the use of standardised procedure as outlined in the WSI. This included the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

6.6 Managing, storing and curating data.

All digital data was organised into Aeon Archaeology proformae project file systems and backed up to The Cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

6.7 Metadata standards and data documentation

Digital metadata was created using Microsoft Excel (.xlsx) of all photographic plates.

6.8 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER) (via HEDDOS) and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to The Cloud.

6.9 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 7.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

6.10 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

6.11 Governance of access

The decision to supply research data to potential new users will be via the associated website request (RCAHMW) or via the Senior Archaeologist when made directly to Aeon Archaeology.

6.12 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

6.13 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

6.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

6.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCIfA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

6.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

7.0 PHOTOGRAPHIC RECORD

(Figures 1-5; Plates 1-41)

The buildings that were the subject of this photographic building survey are the red brick agricultural barns at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham. This is part of a farmstead which likely has 18th century origins which is planned out in a a reversed 'L-shaped' arrangement, with the southern barn being the first constructed (pre 1843) and the northern barn appearing on the by the 1879 1st edition 6" OS map. The barns are aligned north/northwest to south/southeast.

The historic landscape survey (NRW 2006) for the area conducted by CPAT (now HCPA) described the area that Lower Farm is set in as; "An area of mixed sized but predominantly regular fields occupying part of the western river terrace of the Dee. The fields divide roughly equally into groups of smaller residual medieval strip fields, adjoining medieval settlements such as Holt, and blocks of larger fields representing areas of 18th or 19th enclosure - possible once areas of common. The area is characterised by numerous waterfilled marl pits, land drains running east towards the river and a significant number of small farm complexes, probably of later medieval or post medieval origin. The areas only significant settlement is the relatively modern Cross Lanes. Several park fieldnames survive across the area that may hint at former land use, There are also a number of small areas of deciduous woodland. A scatter of Bronze Age barrows and standing stones are the sole representatives of the areas prehistoric past".

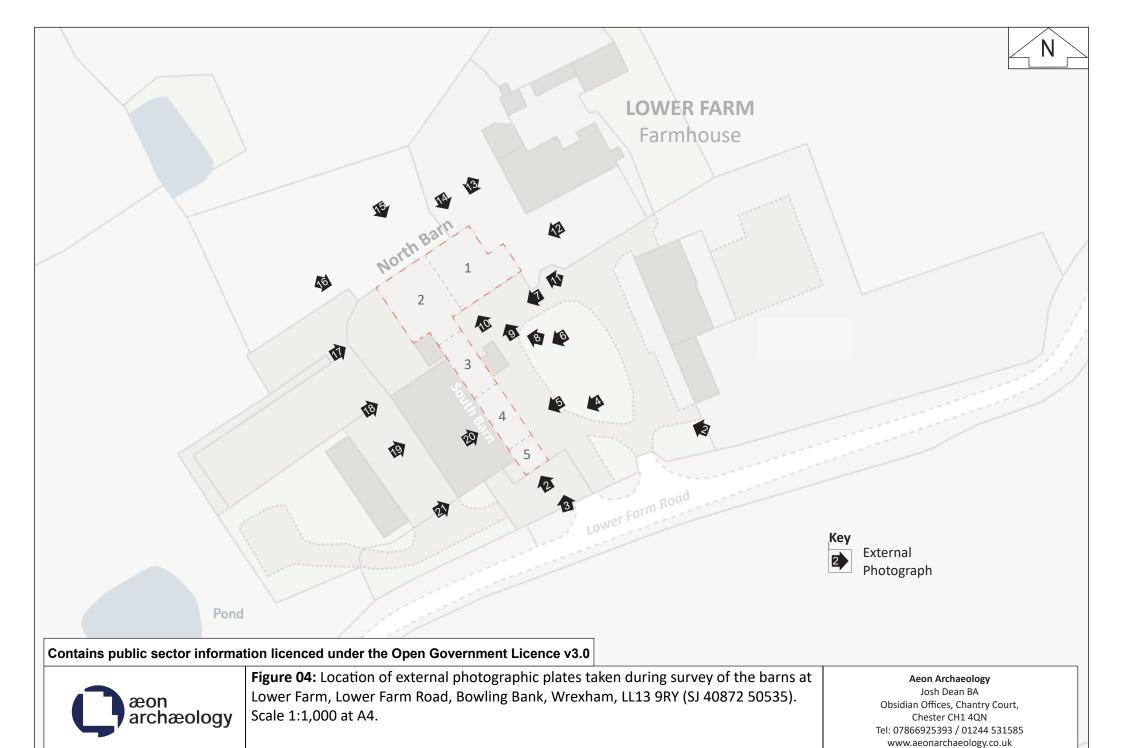
The post-medieval landscape reflects a transition from medieval agrarian practices to more structured and efficient systems, characterised by a mix of residual medieval strip fields and larger enclosures from 18th or 19th century land reforms. Agricultural improvements are evident in water-filled marl pits and drainage systems, while numerous small farm complexes indicate the importance of dispersed settlement and mixed farming. The retention of park field names and small areas of deciduous woodland hints at earlier land uses, and the modern settlement of Cross Lanes contrasts with the historic character of the area. Prehistoric features such as Bronze Age barrows and standing stones provide a deeper temporal context to this evolving landscape.

The building is constructed from red brick (as previously mentioned), and bonded with lime mortar, and features a slate roof. The façade exhibits English Bond brickwork and incorporates distinctive ventilator patterns in the form of perforated diamond-shaped brickwork, characteristic of agricultural ventilation systems seen elsewhere in the region. The windows are predominantly small, wooden-framed, and symmetrically placed, with a mixture of fixed and sliding sash types.

At ground level, the structure includes evidence of repair and patching, indicating ongoing maintenance and adaptation. The upper levels feature black-painted timber loading doors, consistent with its use as an agricultural storehouse. Iron fixtures, such as hinges, distinctive 'S-shaped' wall ties, and a surviving rainwater pipe, are visible and exhibit signs of weathering.

The building's layout suggests a multi-functional agricultural purpose, likely including dairy production, cow housing and associated storage for grain or hay. The surrounding yard, with its concrete panel surface and ancillary structures, supports the interpretation of an active late 18th to 19th century farm complex. With the main farmhouse located to the east/northeast of the barn complex.

The photographic record was undertaken by Josh Dean BA archaeologist at Aeon Archaeology on the 10th January 2025. Upon approval from the Client and the DCA at HCPA the report will be archived with the Heneb Historic Environment Record (HER); the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW); and a copy retained at Aeon Archaeology, Chester under project code A0517.1, Report no# 0506.



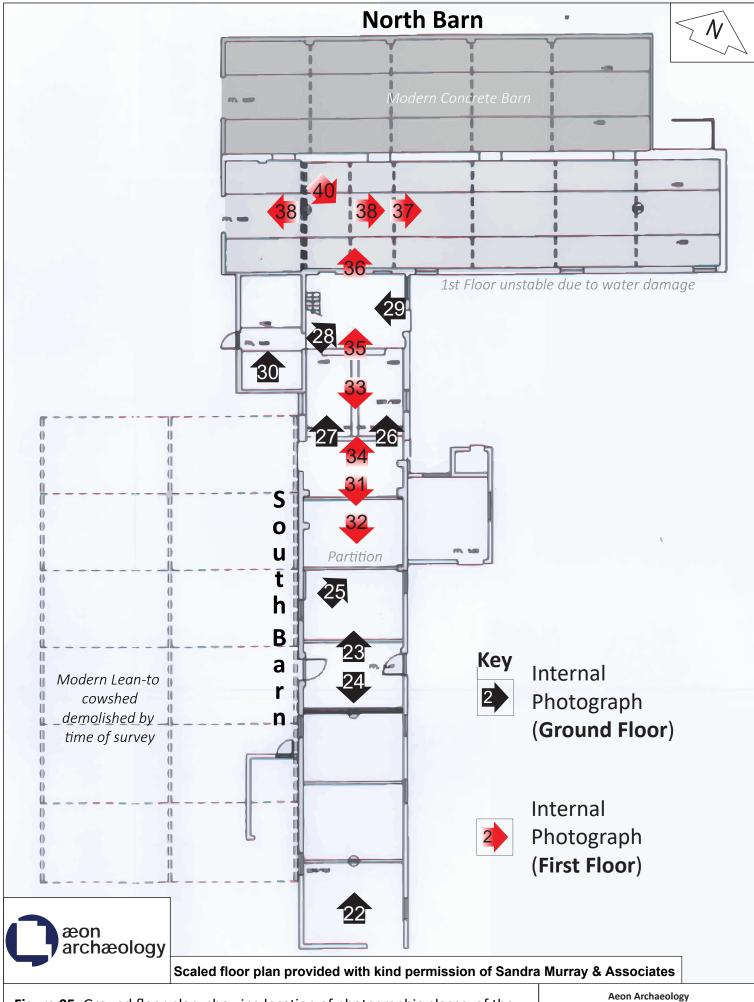


Figure 05: Ground floor plan, showing location of photographic places, of the barns at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham, LL13 9RY (SJ 40872 50535). Scale 1:200 at A3.

Aeon Archaeology Richard Cooke BA MA MCIfA Obsidian Offices, Chantry Court, Chester, CH1 4QN Tel: 07866925393 / 01244 531585 www.aeonarchaeology.co.uk



Plate 01: Oblique view of agricultrial barns, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the east - 2.00m scale





Plate 02: SE gable elevation (south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 03: SE gable (rear, left) and farmhouse, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the south - 2.00m scale





Plate 04: NE elevation (left), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 05: Example of embrasure, window and loft hatch in NE elevation, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 06: NE elevation (centre), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 07: NE elevation (right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 08: Oblique view of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the east - 2.00m scale





Plate 09: SE elevation of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 10: Dovecote and embrasures in SE of northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 11: Oblique SE and NW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the east - 2.00m scale





Plate 12: NE gable elevation (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 13: Oblique NE and NW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the north - 2.00m scale





Plate 14: NW elevation (left), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - 2.00m scale





Plate 15: NW elevation (right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - 2.00m scale





Plate 16: Oblique NW and SW elevation, northern barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the west - 2.00m scale





Plate 17: SW gable elevation (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - 2.00m scale





Plate 18: SW elevation (south barn) left, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - 2.00m scale





Plate 19: SW elevation (south barn) centre, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - 2.00m scale





Plate 20: SW elevation window & wall tie, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - 2.00m scale





Plate 21: SW elevation (south barn) right, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - 2.00m scale





Plate 22: Interior, GF (south barn), milking parlour, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 23: Interior, GF (south barn), milking parlour stalls, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 24: Interior, GF (south barn), milking parlour (south end), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - 2.00m scale





Plate 25: Interior, GF (south barn), milking parlour, concrete stalls, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the west - 1.00m scale





Plate 26: Interior, GF (south barn) NE small barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale



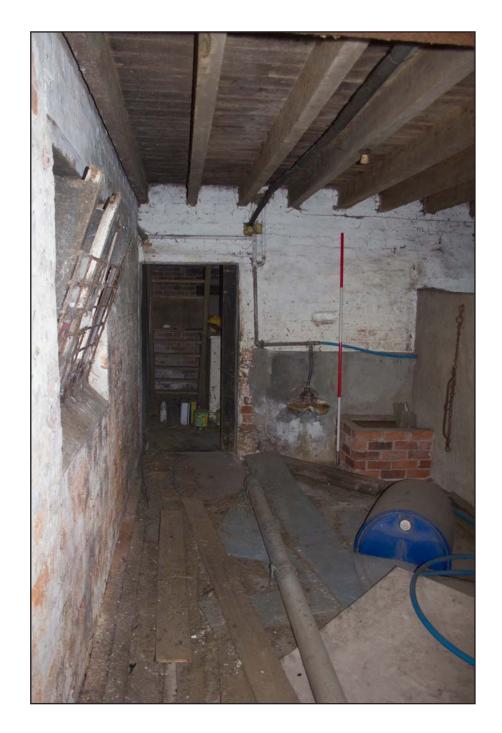


Plate 27: Interior, GF (south barn) SW small barn, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 28: Interior, GF (south barn) workshop, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the south - 2.00m scale scale





Plate 29: Interior, GF (south barn) workshop, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northeast - 2.00m scale





Plate 30: Interior, GF (south barn) small barn SW addition, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 31: Interior, 1F (south barn) roof trusses, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - no scale





Plate 32: Interior, 1F (south barn) ceiing/roof, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - no scale





Plate 33: Stall/partition incorporated into (south barn) roof truss, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - 2.00m scale





Plate 34: Doorway into loft landing, 1F (south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - 2.00m scale





Plate 35: Doorway into north barn (from south barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - no scale





Plate 36: Central loft, 1F (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southeast - no scale





Plate 37: NW loft, 1F (north barn), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - no scale





Plate 38: NW loft, 1F (north barn) ceiling, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the southwest - no scale





Plate 39: SE loft, 1F (north barn) ceiling, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the northwest - no scale





Plate 40: Gable of south barn, (from north barn) to rear of elevation illustrating building phasing, at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the west - no scale





Plate 41: View of roof arrangement, (south barn addition lower to left, higher north barn to right), at Lower Farm, Lower Farm Road, Bowling Bank, Wrexham - from the west - no scale



8.0 SOURCES

Maps.

Ordnance Survey Open Data maps SJ NE23, NW23, SE23, SW23.

Secondary Sources

Chartered Institute for Archaeologists, (2020). Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures.

Historic England, (2016). Understanding Historic Buildings: a guide to good recording practice.

McCullough, A. E., Watson, S. W. and Martin, C. H. R., (2017). *Polygonisation of Traditional Farm Buildings in Wrexham*, Glastir Pilot (Clwyd Powys Archaeological Trust)