

Heritage Impact Assessment, Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA



Report by: Trysor

For: RFP Architects Ltd

August 2021



Heritage Impact Assessment, Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA

By

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Trysor Project No. 2021/795
HER Event Record PRN – GGAT E006710

For: RFP Architects Ltd

August 2021

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*Cover photograph: The rear of Kingscombe, looking east from the junction of
Factory Road and Llanmihangel Road.*

**Heritage Impact Assessment,
Kingscombe, Llanmihangel Road, Llanblethian,
Cowbridge, CF71 7JA**

RHIF YR ADRODDIAD - REPORT NUMBER: Trysor 2020/795

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DYDDIAD 25^{ain} Mis Awst 2021 **DATE** 25th August 2021

Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

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Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

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Event Record PRN – GGAT HER

PRN	GGAT E006710
Name	Heritage Impact Assessment, Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA
Type	HERITAGE ASSESSMENT
NGR	SS9875073794
Easting	298750
Northing	173794
Summary (English)	In July and August 2021, Trysor carried out an assessment of the impact of proposed changes at Kingscombe, Llanmihangel Road, Llanblethian. A small extension to the northeast corner of the house for use as a boot room was proposed. In addition, a section of wall was to be removed between the current kitchen and a reception room. This assessment was undertaken in advance of the submission of a planning application. © Trysor 2021
Crynodeb (Cymraeg)	Yng Ngorffennaf ac Awst 2021, fe gariwyd allan asesiad gan Trysor ar effaith newidiadau i dy annedd Kingscombe, Heol Llanmihangel, Llanblethian. Y bwriad oedd ychwanegu estyniad bach i gornel gogledd-ddwyreiniol y tŷ ac i agor drws newydd y tu fewn i'r tŷ, rhwng y gegin ac un ystafell fyw. Gwnaed yr asesiad cyn cyflwyno cais cynllunio. © Trysor 2021
Description	In July and August 2021, Trysor carried out an assessment of the impact of proposed changes at Kingscombe. A small extension to the northeast corner of the house for use as a boot room was proposed. Also a section of wall was to be removed between the current kitchen and a reception room. © Trysor 2021
Sources	Trysor, 2021, Heritage Impact Assessment, Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA
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Summary

This report assesses the impact of proposed changes at Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA through the four stages of the Heritage Impact Assessment in Wales process. It will inform a future planning application and Listed Building Consent application.

Kingscombe is a Grade II listed building, Listed Building Number 22306. The house is of distinctly Georgian character and thought to have been built in the early 19th century. It was originally the dwelling associated with a larger complex of farm buildings, which have been incorporated into the adjacent dwelling of Trecregyn in modern times.

The impact of the proposals on the listed building has been assessed in line with Cadw guidance. It has been found that the proposed addition of a conservatory or "boot room" to the rear of the house would not cause an adverse impact on the listed building given the scale and nature of the proposed change. The design of this small extension has been altered as a result of the assessment process, to ensure that the roof of the conservatory is flatter and unadorned to maintain the simple character of the listed building. It has also been discovered that historically the area of the proposed extension was occupied by an earlier porch or conservatory which connected the house with an adjacent outbuilding.

Modifications proposed for the kitchen include replacing the modern kitchen unit range and opening a new door between the kitchen and adjacent reception room. The former modification would not impact on the historic fabric of the house, but the latter would result in the removal in a section of original internal walling. This report suggests that a watching brief is considered in relation to the removal of this section of walling and that a mortar sample is taken to better date the building.

The proposed development will therefore not reduce the significance of the listed building in its current condition.

It will also not impact on the Cowbridge & Llanblethian Conservation Area as the changes are either internal or in a private garden area which is not highly visible from outside the property.

1. Introduction

1.1 This document has been prepared by Trysor at the request of the RFP Architects Ltd, 13 Cathedral Rd, Cardiff, CF11 9HA, on behalf of their client on proposed changes to Kingscombe, Llanmihangel Road, Llanblethian, Cowbridge, CF71 7JA (Listed Building No. 22306), see Figures 1 and 2.

1.2 This report has been undertaken in advance of the submission of a planning application relating to the proposed changes.

1.3 Kingscombe is a large, double-pile residence. It is said to be of late Georgian date and is probably early 19th century in origin.

1.4 This heritage impact assessment has been prepared to assess the impacts of proposals to create;

- a rear "boot room" extending from the northeast corner of the house
- a new opening to link the kitchen to the room to its south to create a more open living area and increase light to the kitchen.

1.5 A site inspection was made by Trysor on 13th July 2021 to examine the building, identify original building fabric and assess any potential impacts from the development on and within the listed building.

1.6 This report documents the objectives of the proposal, the significance of the building and the impact of the proposal in accord with current Cadw guidance on heritage impact assessment (Cadw, 2017).

1.7 The proposed development has been modified to take account of recommendations made by Trysor arising out of this assessment.

1.8 Further mitigations are also outlined in this document to protect historic environment interests in connection with the proposed development.

2. Methodology

2.1 In response to the request from the RFP Architects Ltd for a heritage impact assessment of proposed improvements Kingscombe, Listed Building No. 22306, the process outlined in "*Heritage Impact Assessment in Wales*" in order to assess the impacts on the historic asset has been followed (Cadw, 2017). This process has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

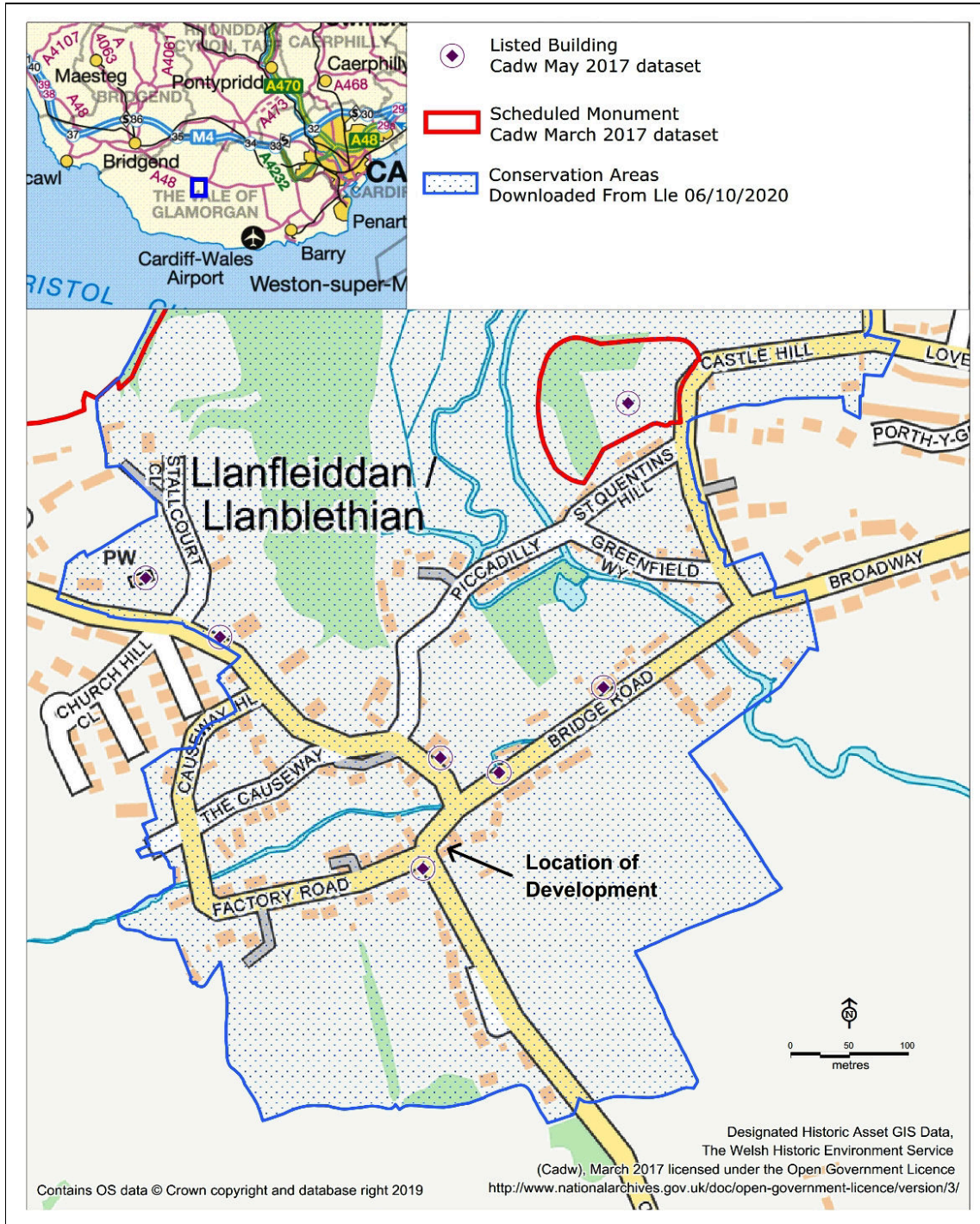


Figure 1: Location of the development at Kingscombe, Llanblethian

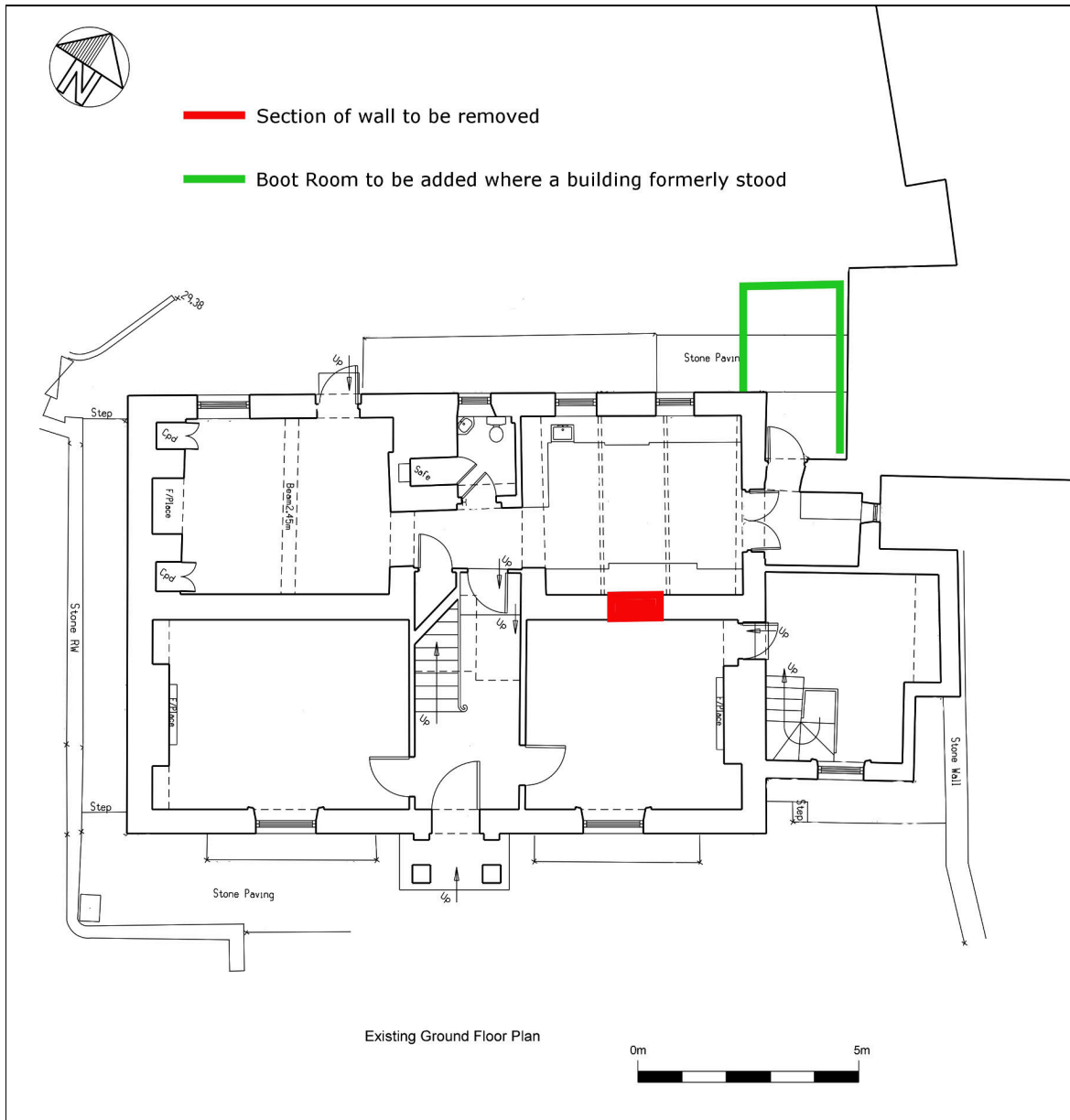


Figure 2: The changes which will impact on the listed building at Kingscombe, based on client plan from RFP Architects Ltd, Factory House, Factory Road, Cowbridge, CF71 7JD, Drawing number 2337/DP200.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The proposed development has been made to create a “boot room” for the house, which is a large family home, in the form of a modest extension at the northeastern corner of the house, into the garden area to the rear (north) of the building.

3.2 Further modifications have been planned for the kitchen, including the replacement of the present, modern kitchen, with new units and fittings.

3.2.1 The modification to the kitchen would also see a new doorway opened to connect the kitchen, at the northern side of the house with the reception room to its southern side. At present access from one to the other is only possible via the main hallway. This would link the kitchen to what would be the “breakfast room” of the house, making it more practical for family life and allowing more light into the kitchen on the north side of the building.

3.3 It is intended that the modifications are undertaken in such a manner as to preserve features of historic or architectural importance.

4. Heritage Impact Assessment Stage 2: Understand the significance of the historic asset

4.1 Evidential Value

4.1.1 Kingscombe House is a Grade II listed building. The house was listed in 1999 as “an early 19th century house, retaining most of its character, in a conservation area.”

4.1.2 The origins of Kingscombe are not fully understood, but it is possible that the northern part of this double-pile house represents the earliest part of house and the larger southern section was added during Georgian times. The architecture of the building suggests that it is indeed Georgian and likely to date to the late 18th or early 19th century.

4.1.3 The first historic reference to the property appears to date to 1807, when one David William of Llanblethian purchased the house and land from Andrew Armstrong of Great House, Llanbleithian for £974.

4.1.4 The Ordnance Survey’s Original Surveyors Drawing of 1813 (Figure 4) is the first map to show a large building at the site of Kingscombe, and it seems likely that it represent the house, though the map is not detailed enough to be able to appreciate the plan or character of the house at that time. This map also shows a second building, presumably an outbuilding, to the northeast of the dwelling.

4.1.5 The 1841 Llanblethian parish tithe map (Figure 5) does not show the present house at Kingscombe. It is not known why it is absent, but the accompanying tithe apportionment records that parcel 227 included the House and Garden. The adjacent fields, parcels 252 and 253, were named as Upper Field and Lower Field and were over 7 acres in extent in total. The property was owned and occupied by one William Lewis.

4.1.6 The 1841 parish census for Llanblethian does not appear to survive; therefore the earliest available census is that of 1851. This does not name “Kingscombe”, but a house named “Kingscote” is listed as being uninhabited. This may refer to Kingscombe (Arthur Traherne is listed as residing at Kingscombe in the 1881 census, yet Slater’s Directory of the same year lists him under Kingscote, Llanblethian).

4.1.7 The first detailed map of the property is the 1877 1:2500 Scale Ordnance Survey map (Figure 6). This shows the present house in place, along with a range of outbuildings attached to its northeastern corner. The latter now form part of the adjacent property of Trecregyn. This map shows that the present entrance into the property to the south is in place, along with a carriage drive and well-organised garden area.

4.1.8 A newspaper advert of 1895 gives a detailed schedule of the house and outbuildings at Kingscombe, which demonstrates the extent of the property and the relationship between the house and its outbuildings. Kingscombe is described as "Valuable Residence" a with;

"the Lawn, two gardens and three very superior pasture fields adjoining, containing by admeasurement Eight Acres (more or less). The House comprises Entrance Hall, good-sized Dining and Drawing Rooms, Conservatory, Four good Bedrooms, Two Large Kitchens (one underneath the Granary), Pantry, China Pantry, Scullery, a large Cellar and two w.c.s.

The Out-buildings consist of a good three-stall Stable, Saddle-room, Coach-house, Green-house with heating apparatus, Potting House, Cowshed, Piggeries and Hayshed; also a Granary, the latter from its position being easily convertible into additional bedrooms and bath-room as required.

The buildings are in excellent repair and well-drained, and there is ample supply of spring and soft water. The Lawn is neatly laid out and planted and the Kitchen Garden is well stocked with choice fruit trees..."

The Property is Copyhold of the Manor of Llanblethian, and his held subject to the customary rents, heriots, duties, customs, suits and services of the said Manor and to the tithe rent charge (if any) charged thereon."

4.1.9 Despite the belief that the present house is early 19th century in date, it is possible that the holding itself is older, as suggested by its status as a Copyhold of the Manor of Llanblethian. This signifies that it was a tenure of land subject to the traditional customs of the manor. Copyhold Acts of the mid- and late-19th century gradually phased out this traditional arrangement and its survival in association with Kingscombe may point to a pre-19th century origin for the holding, if not the present house.

4.1.10 The southern part Kingscombe is the larger and most striking of the two principal parts of the house. It includes the main façade of the dwelling, which faces south and is Georgian in character, although the Doric porch at the main entrance is a modern addition. The external walls are rendered and painted and no detail of the stonework is visible.

4.1.11 The northern, or rear, part of the house is slightly smaller and the stonework of its northern lateral wall is exposed. This shows that the wall is built of roughly coursed local stone. There are three sash windows on the first floor and four sash windows and a door on the ground floor. The windows and door are not arranged symmetrically.

This wall bears evidence of earlier modifications to the house. The central ground floor window appears to have been inserted at a later date for the ground floor WC. The kitchen window at the eastern end of this wall is evidently a blocked doorway, suggesting further changes made in relatively recent times.

4.1.12 The stone voussoirs of the arches above both the ground floor WC window and the blocked doorway now serving as the kitchen window are markedly different in character to those of the other windows and doorway through the northern lateral wall, demonstrating that they are later modifications.

4.1.13 The western gables of the house are rendered and painted and show no architectural detail apart from a central, first floor window.

4.1.14 The eastern gables have a small, two-storey extension built on to it, which is in turn abutted by the neighbouring property of Trecregyn on its northern side. Historic photographs show that this extension was a single-storey structure until relatively recently and may have acquired its upper storey post-1995, when planning permission was granted for a two-storey study and bathroom extension.

4.1.15 The former outbuildings of Kingscombe have been converted into the neighbouring dwelling of Trecregyn, to the northern side of the house. An application for this work was approved in May, 1987 (Planning application number 87/0192). The rear of Trecregyn still abuts the northeastern extension of Kingscombe, a physical link between which is shown on late 19th and early 20th century Ordnance Survey maps and reflects the historical connection between the two buildings. This rear wing of Trecregyn may well be the "Granary" within the complex of outbuildings at Kingscombe in the 1895 sale advert as including a second kitchen and being readily convertible for extra bedrooms or a bathroom (see 4.1.8 above).

4.1.16 Importantly, the area of the proposed development was at one time occupied by a structure which was attached to the gable end of what is now Trecregyn and abutted the northeastern corner of Kingscombe and probably extended along the northwest-facing lateral wall of Kingscombe as far as the present kitchen window. It may have linked the Granary (now part of Trecregyn) with Kingscombe. This structure appears to have remained in place until the time of the 1970 1:2500 Ordnance Survey map but it had been removed by the early 21st century, by which time the outbuildings had been converted into the present dwelling of Trecregyn. There is no evidence of it surviving today and the adjacent part of Trecregyn has had its walls rendered, hiding any architectural details.

4.1.17 Historical photographs accessible via The Peoples Collection, dating from the early 20th century, show that the outbuildings to the north side of Kingscombe were single storey. One shows the ridge of the original single-story extension to the northeast gable wall of the house, with a second roof ridge visible behind it, implying that the structure which originally stood in the area of the proposed development was also a single-storey porch or outbuilding (see

https://www.peoplescollection.wales/items/1196411?fbclid=IwAR2oe5RvfHRfvBpCQ2LGfqP2IJRZyRfbM8uySWcF_2qCUslHsOnhBzAKXHq).

4.1.18 The proposed extension to Kingscombe would be located in a position which was formerly occupied by a single-storey extension connecting Kingscombe to its outbuilding range to the north. The adjacent parts of Kingscombe and Trecregyn were also modified in the later 20th century, with the original, connecting extension presumably removed around the time that Trecregyn was consented in 1987.

4.1.19 It is likely that the present doorway through the northwest-facing, ground-floor wall of the extension to Kingscombe was opened during the same period. This door would give access into the proposed "boot room" from the present utility room adjacent to the kitchen.

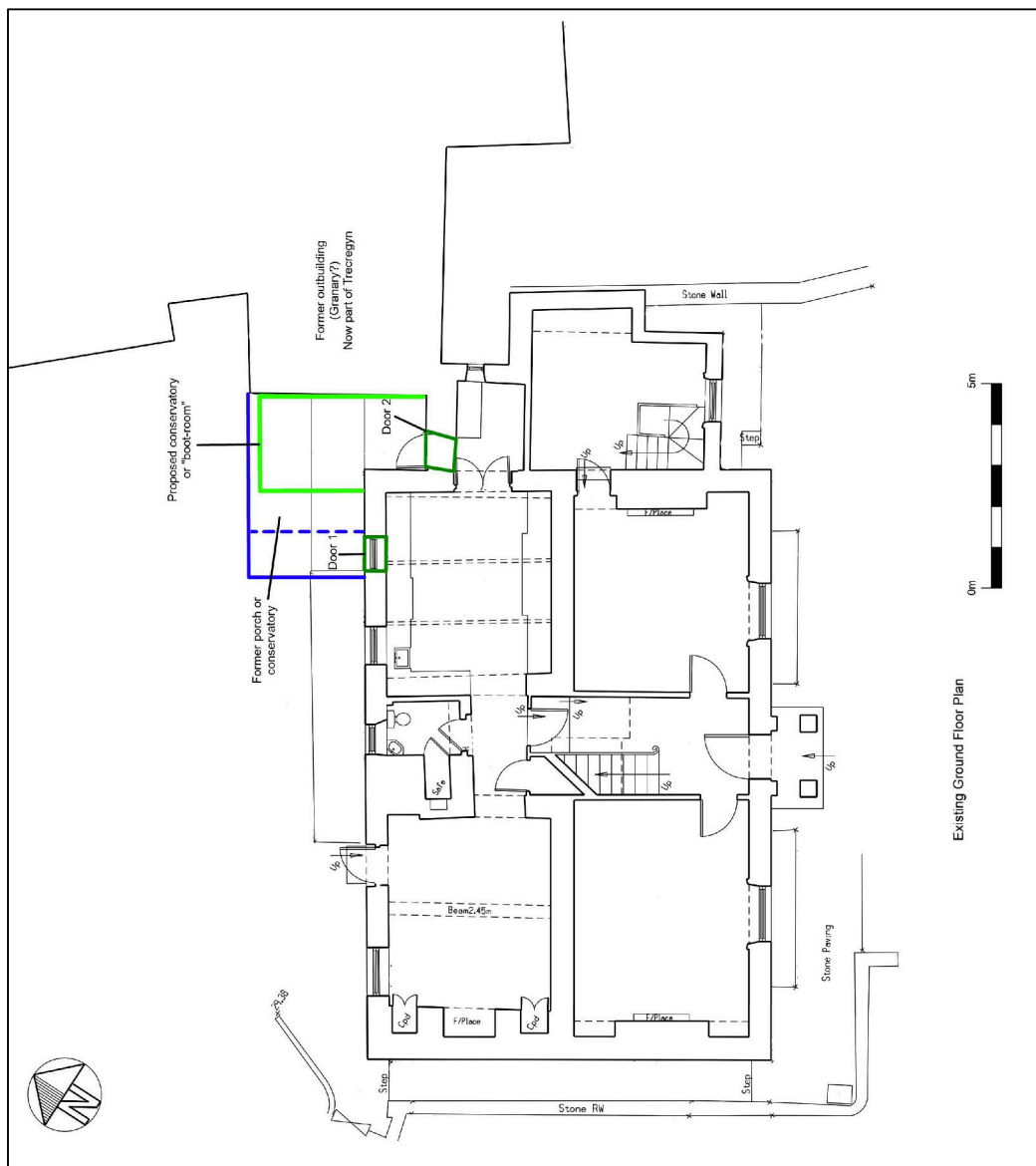


Figure 3: Shown in blue here is the approximate area of the porch or conservatory which stood to the rear of Kingscombe as shown on the 1877 Ordnance Survey map. This structure attached the house to the adjacent outbuilding, which may have been the granary where a second kitchen is described in a sales advert for the property dating to 1895. It is not known if the original structure extended beyond the present eastern kitchen window (Marked Door 1 and outlined in dark green) which is actually a blocked-up doorway and presumably was the original exit door from the kitchen. Door 2 (also outlined in dark green) appears to be a modern opening cut through the north wall of the present utility room. The proposed new conservatory or "boot-room", outlined in light green is seen to fit within the footprint of the original structure outside the northeastern corner of the house.



Figure 4: The 1813 Ordnance Survey Original Surveyors Drawings map (Bridgend Sheet 178) clearly shows buildings at Kingscombe.



Figure 5: The 1841 Llanblethian parish tithe map shows only a single building at Kingscombe which appears smaller than the current house.



Figure 6: The 1879 Ordnance Survey map 1:2500 scale shows Kingscombe as a much larger complex. The house and attached outbuilding to the northeast are shaded red here. The outbuilding, which may have been the Granary, seems to occupy the position of the single building shown on the 1841 tithe map. This map shows that a porch or conservatory connected to the northeastern corner of the house to the adjacent outbuilding, as suggested in Figure 3 above. The outbuilding is now part of Trecregyn, as is the second outbuilding shown to its northern side on this map.

4.2 Historical Value

4.2.1 The house has some association with figures of note. The 1861 census records that the Royds family resided here. They were a relatively wealthy and influential family who had come to the district from Lancashire in earlier times.

4.2.2 In 1881 Slater's Directory records that one Arthur Traherne resided at "Kingscote" Llanblethian, which appears to be Kingscombe. The 1881 parish census shows that Traherne and his wife Harriet were indeed residing at Kingscombe. Arthur Traherne was a former Royal Navy officer. Harriet Traherne was a published author of some note, who wrote a number of novels relating to Wales. She was also a landscape painter who enjoyed modest success. She lived to be 100 and died at Crickhowell in 1913.

4.3 Aesthetic Value

4.3.1 In terms of its aesthetic value, Kingscombe is listed as a good example of an early 19th century house, in the Georgian tradition.

4.3.2 The house incorporates features which are typically Georgian, such as the 12-pane, hornless sash-windows on the ground floor and first-floor of the façade. The central front doorway has a panelled door, with panelled reveals and an overhead light with intersecting panes. There was also originally a triangular pediment above the door, which has been covered in modern times by a Doric porch.

4.3.3 These characteristic features all suggest that the house is of early 19th century date, though it is possible that the Georgian style may have persevered into the mid-19th century in rural Llanblethian.

4.4 Communal Value

4.4.1 Kingscombe has always been a private dwelling and the house has no direct communal value.

4.4.2 The house is however a relatively prominent building within the Llanblethian Conservation Area and contributes to the character of the village.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals.

5.1 The proposed changes would include an external addition to the rear of the building in the form of a conservatory or "boot room". The design of the "boot-room" will be plain, in keeping with the character of Kingscombe.

5.1.1 The proposed extension would be located in approximately the same position as an earlier structure which appears on late 19th and early 20th century maps and connected Kingscombe with an adjacent outbuilding (presumably the Granary) which is now part of the neighbouring house of Trecregyn. The proposed "boot-room" would therefore not represent a wholly new development in this part of the garden.

5.1.2 The proposed "boot-room" would not be highly visible from outside the garden, as it would only be seen from the eastern end of Factory Road, which is not a key view of Kingscombe. The high wall around the rear garden of Kingscombe would otherwise block views of the proposed extension. The view of the front of Kingscombe which is included in significant views of the Conservation Area in the appraisal and management plan (Vale of Glamorgan, 2010), would not be altered by the proposed changes.

5.1.3 When viewed from the direction of Factory Road, the proposed addition would be seen against the gable end wall of the rear, southwestern wing of Trecregyn, which probably represents the former granary building of Kingscombe and has been heightened by the addition of an upper floor in modern times. It would therefore not impact on a view of historical significance.

5.2 Internal changes planned for the kitchen include the replacement of the present, modern kitchen, with new units and fittings. This change would not impact on the historic fabric of the house as the units and fittings are modern.

5.2.1 The changes to the kitchen will, however, include opening a doorway from the present kitchen to the adjacent ground floor reception room at the front of the house to the south.

5.2.2 In terms of scale this is a modest modification which would not change the external appearance of the house but will require the removal of a section of what appears to be an original internal wall of the house.

5.2.3 The opening of the new doorway would also require the creation of a step to link the two rooms as their floors are at different levels, with

the kitchen floor lower than the reception room. This step would be positioned within the present wall line and would not require any changes to the floors in either room.

5.3 Kingscombe is located within the Cowbridge & Llanblethian Conservation Area. The Conservation Area Appraisal (Vale of Glamorgan CC, 2010), identifies significant views within the area. Those relevant to Kingscombe are all views from the south, along, and adjacent to, Llanmihangel Road, looking north to northwest.

5.3.1 These views may give some view of the south-facing façade of Kingscombe, but the proposed development would not impact on them as it includes internal works and works to the rear (northern) side of the house.

5.3.2 The private, hidden nature of the rear garden at Kingscombe would shelter the development from views within the Conservation Area in general and not represent an adverse impact on the character of that area.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process.*

6.1 The proposed development would take place in a relatively sheltered location, which is not highly visible.

6.1.1 The development has precedence, as a structure has occupied a similar position in the past.

6.1.2 The location of the “boot room” would not impact on any significant views of Kingscombe or the Conservation Area.

6.1.3 It would stand against a backdrop of a former outbuilding to its northeast side which has been modernised and heightened in modern times. To its southeast side is the northeast extension to the gable end of Kingscombe, which has also been heightened and modernised in modern times.

6.1.4 The “boot-room” will be single-storey and plain in design to match the form of the house.

6.2 The internal change will be limited to the creation of a single, new door to improve the functionality of the house.

6.2.1 It will modest in scale and will not see the removal of any important architectural detail, but will be limited to the opening a single doorway.

6.2.2 The materials for the new door and frame will be chosen to match those of existing doorways in the reception room.

7. Conclusion

7.1 The proposed development consists of two elements;

- the construction of a “boot-room” conservatory extension to the rear of Kingscombe
- the opening of a new doorway to connect the kitchen, to the rear of the house, and the adjacent reception room, at the front of the house.
- the replacement of the present modern kitchen units is also proposed

7.2 This assessment has found that the proposed modifications are modest in scale and would not adversely impact on the significance of the listed house. Modifications were made to the roof light of the boot room during the course of the assessment to reduce the visibility and height of the “boot room” .

7.2.1 The proposed development would not adversely impact on the Cowbridge & Llanblethian Conservation Area.

7.3 A series of mitigations should be considered to record the change and retrieve further information about the building during the proposed changes.

7.3.1 Mitigation which may be considered appropriate in relation to the external “boot-room” extension are a watching brief and photographic record to be undertaken during work to record any exposed fabric in the walls of Kingscombe House or Trecregyn, if the present render is removed.

7.3.2 A watching brief on groundworks for any foundations for the “boot-room” may be considered appropriate as the structure stands in an area where there was a former structure.

7.3.3 A watching brief may be considered appropriate on the opening of the new doorway from the kitchen into the adjacent reception room to analyse and record the fabric of the wall, which is not presently exposed.

7.3.4 A mortar-sample should be obtained from the core of the internal wall when the doorway is opened, which could help better date the house, the origins of which are still unclear. This could improve understanding of the building.

7.3.5 Care must be taken to ensure that the door frame and any door used for the new doorway should match those already in use in the relevant part of the house.

8. Bibliography

Cadw, 2011, *Conservation Principles*.

Cadw, 2017, *Managing Heritage Impact Assessment in Wales*

Llanblethian Parish Tithe Map, 1841

Llanblethian Parish Tithe Apportionment, 1841

Ordnance Survey, 1813, Original Surveyors Drawings Bridgend Sheet No 178.

Ordnance Survey, 1877, 1:2500 scale First Edition County Series Map Glamorgan XLV.7

Ordnance Survey, 1899, 1:2500 scale First Edition County Series Map Glamorgan XLV.7

Vale of Glamorgan County Council, 2010, *Conservation Area – Cowbridge with Llanblethian, Appraisal and Management Plan*.

8.1 Online sources

Rawlins, J, 2000, Kingscombe, Llanblethian, nr Cowbridge, research Information gathered on this house and occupants

British Newspapers Online, 1895, Sale Advert in The Glamorgan Gazette 16th August, 1895

British Newspapers Online, 1913, *Remarkable* Centenarian in the Sheffield Evening Telegraph, 7 June, 1913

8.2. Photographic sources

Peoples Collection photographs of Llanblethian village and Kingscombe Farm from the late 19th century through to the 1980s.

<https://www.peoplescollection.wales/discover/query/Kingscombe>

Appendix A: Photographs

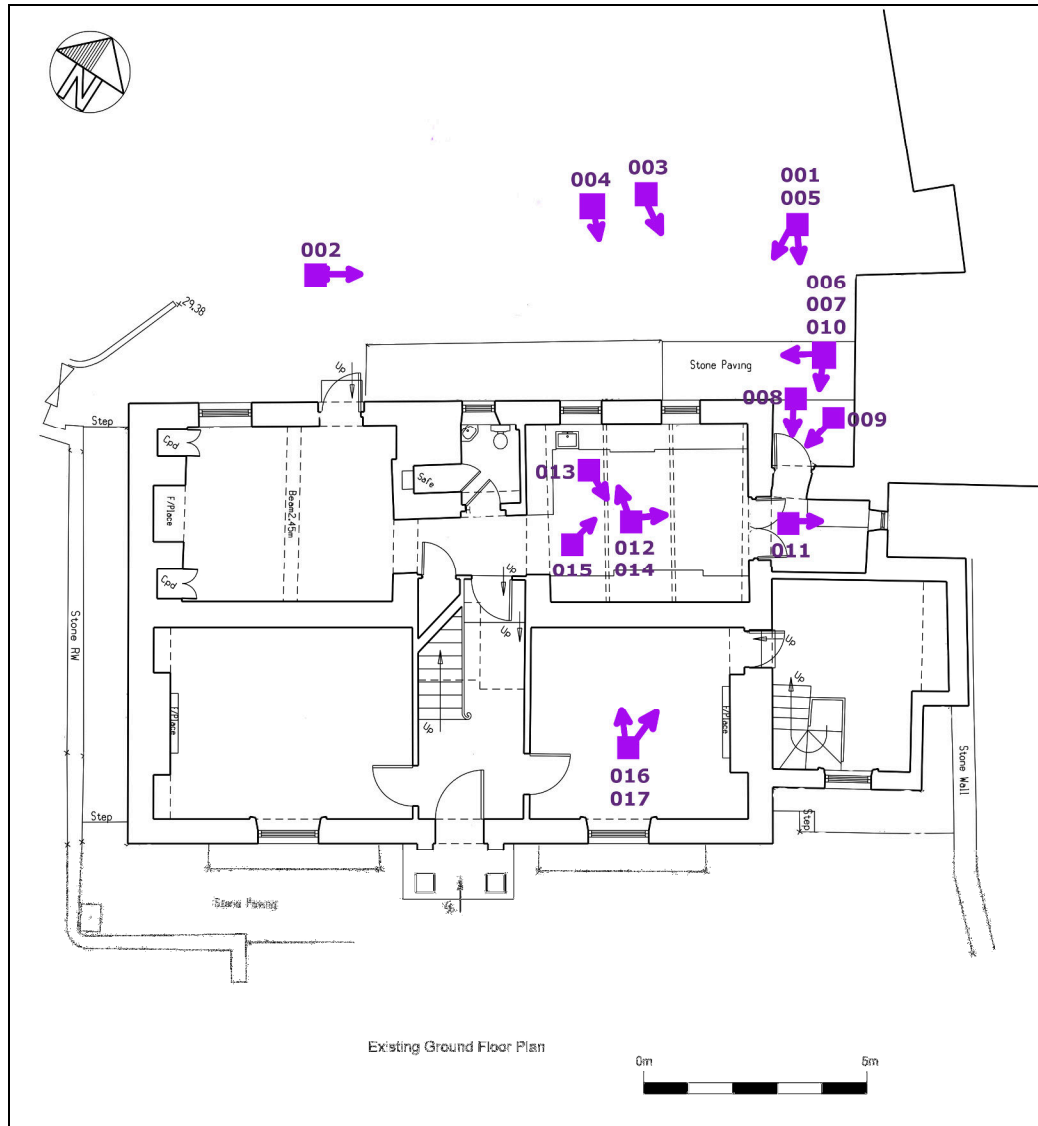


Figure 7: Location and direction of Photographs 001 to 017 based on client plan from RFP Architects Ltd, Factory House, Factory Road Cowbridge, CF71 7JD, Drawing number 2337/DP200.

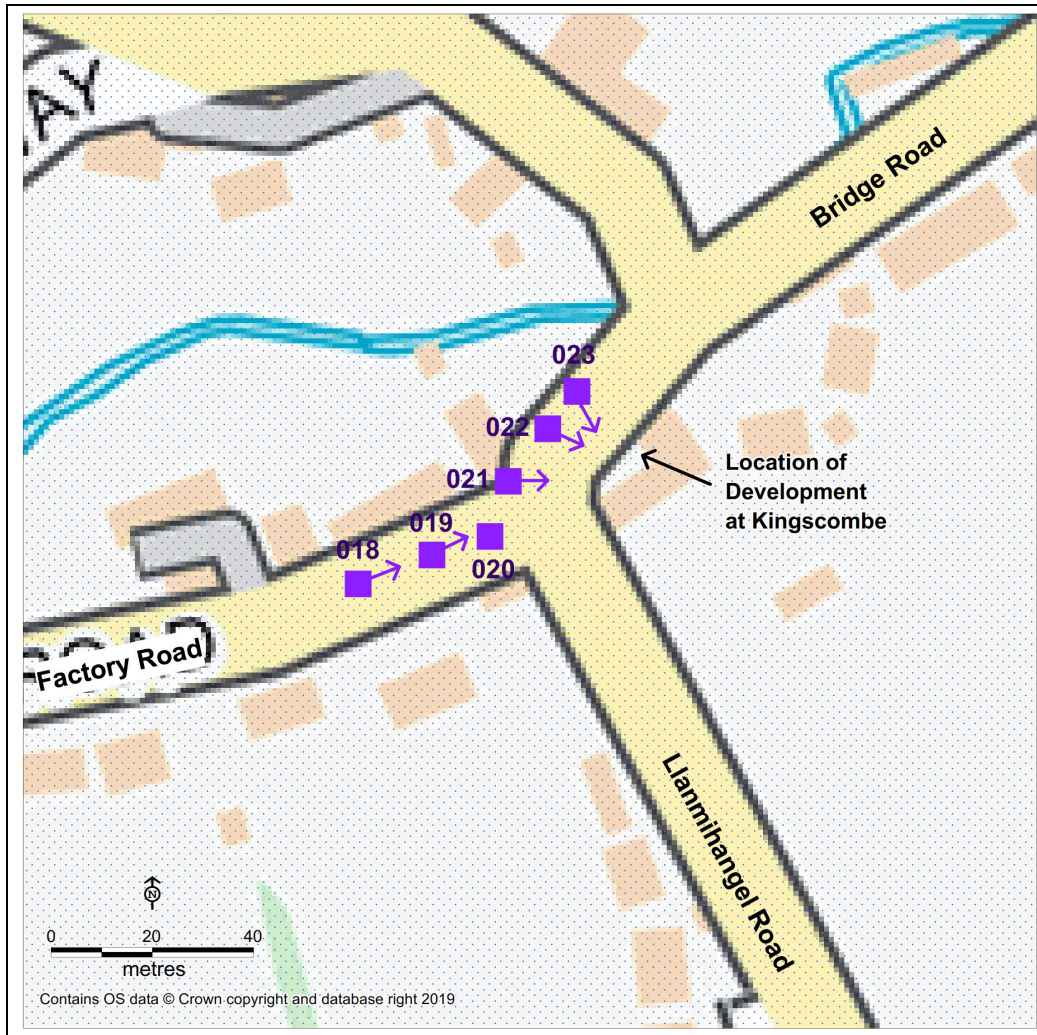


Figure 8: Location and direction of Photographs 018 to 023 based on client plan from RFP Architects Ltd, Factory House, Factory Road Cowbridge, CF71 7JD, Drawing number 2337/DP200.



Plate 1: KCM2021_001 The rear of the property looking south-southeast where the "boot room" would be located. The corner of the main building is bare stone with no obvious quoin stones apart from towards the top of the wall where a repair has been made. The infilling structure is the modern two storey extension, although the lower wall is older and part of the range of domestic and farm buildings attached to the house. The gable of a former outbuilding is seen to the left, which has been heightened in modern times but which was originally connected to the house by a porch or conservatory which stood in the area shown here.



Plate 2: KCM2021_002 Looking east-northeast at the range of converted and extended former domestic/farm buildings that were attached to the northern corner of Kingscombe house. In the 19th century a conservatory or porch joined the house to the gable wall right of centre.



Plate 3: KCM2021_003 A view looking southeast towards where the "boot room" is to be in a location that on the 1877, 1899, 1919 and 1971 1:2500 Ordnance Survey maps was occupied by a porch or conservatory which wrapped around the end of the house. The window centre right was formerly a doorway and has been blocked in.



Plate 4: KCM2021_004 The rear of the house looking south-southeast the window centre right appears to have been added or altered as can be seen by the stone work and pointing around it. The window farthest to the left is the former blocked-in door.



Plate 5: KCM2021_005 The rear of the house looking south-southwest. A straight joint below the window to the left of centre is evidence of its earlier use as a doorway. The 19th century porch or conservatory may have extended beyond this doorway which would have given access from the kitchen into the lost porch.



Plate 6: KCM2021_006 A view looking west from the house across the road towards Belgrave House. Views from this side of the house are limited due to topography, trees and other structures.



Plate 7: KCM2021_007 A view looking west-southwest towards Factory Road with Ley's Cottage on the right.



Plate 8: KCM2021_008 A view looking south-southeast through the external door into the utility room. The thickness of the wall here suggests that this was an earlier wall and not built during the modern two storey extension. The doorway is thought to be modern, as the original entrance to the kitchen has been partly blocked up and turned into a window.



Plate 9: KCM2021_009 A view looking south-southwest through the external door into the utility room and through to the current double doors into the kitchen



Plate 10: KCM2021_010 A view looking south-southeast into the utility room from where the boot-room would be located. The upper storey and window seen here have been added in modern times.



Plate 11: KCM2021_011 A view looking east-northeast to a small window in the utility room.



Plate 12: KCM2021_012 A view east-northeast from the kitchen towards the current double doors into the utility room. The stonework around the door suggests some alteration has happened here in the past, whether the insertion of a new door, or alteration to an existing door.



Plate 13: KCM2021_013 A view looking southeast to the wall between the kitchen and the reception room to the south. The kitchen units are modern



Plate 14: KCM2021_014 A view looking northwest in the kitchen, all the units are modern.



Plate 15: KCM2021_015 A view looking north-northeast in the kitchen. The window to the left of centre was previously a doorway.



Plate 16: KCM2021_016 A view looking north-northwest in the southern reception room towards the wall shared with the kitchen, through which it is proposed to create an opening.



Plate 17: KCM2021_ 017 A view looking north-northeast towards a door into the extension from the south reception room.



Plate 18: KCM2021_018 A view From Factory Road looking east-northeast towards Kingscombe. The proposed "boot-room" extension would be seen from here, but it is important to remember that in the past a porch or conservatory occupied essentially the same position.



Plate 19: KCM2021_019 A view from Factory Road, looking east-northeast towards Kingscombe.



Plate 20: KCM2021_020 A view looking east from Factory Road towards Kingscombe.



Plate 21: KCM2021_021 A view looking southeast from the junction of Factory Road, Llanmihangel Road and Bridge Road towards Kingscombe.



Plate 22: KCM2021_022 A view from the road looking southeast towards Kingscombe. The high wall can be appreciated here as the road is sunk down below garden level within Kingscombe itself.



Plate 23: KCM2021_023 A view of Kingscombe from the road looking south-southeast. The high garden wall would block views of the proposed conservatory from this angle.