



Bryn Derwyn, Colwyn Bay, Conwy, LL29 7BH.

February 2019
V 1.0





aeon archaeology

Bryn Derwyn, Colwyn Bay, Conwy, LL29 7BH.

February 2018

Report no. 0191v1.0

Historic Building Record (Level 3)

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1.0 INTRODUCTION

Comisiynwyd Aeon Archaeology gan Mr Paul Williams (y cleient o hyn ymlaen) i gynhyrchu cofnod adeilad hanesyddol lefel 3 o hen dŷ coets anrhestredig yn Bryn Derwyn, Bae Colwyn, LL29 7BH (yn canoli ar NGR SH 84418 78794) cyn ei ddymchwel. Gwnaed y cofnod o'r adeilad gyda rhif prif ddigwyddiad cyfeirnod Ymddiriedolaeth Archeolegol Clwyd Powys (CPAT) (PRN) 152158.

Cwblhawyd y gwaith rhyddhad archeolegol fel rhan o'r cais cynllunio llawn (cyfeirnod cynllunio 0/45729) cyn dymchwel y Tŷ coetsys brics anrhestredig ym Mryn Derwyn a chyn yr adeilad annedd deulawr newydd gyda garej integrol.

Aeon Archaeology was commissioned by Mr Paul Williams (hereafter the Client) to produce a level 3 historic building record of the unlisted old coach house at Bryn Derwyn, Colwyn Bay, LL29 7BH (centred on **NGR SH 84418 78794**) in advance of demolition. The building record was undertaken as Clwyd Powys Archaeological Trust (CPAT) Historic Environment Record (HER) primary reference event number (PRN) **152158**.

The archaeological mitigation was completed as part of full planning application (Planning reference **0/45729**) before the demolition of the unlisted brick coach house at Bryn Derwyn ahead of the erection of a new two storey dwelling with integral garage.

As per the recommendations of the Clwyd Powys Archaeological Trust Development Control Archaeologist the following condition was assigned to full planning permission:

Condition 11

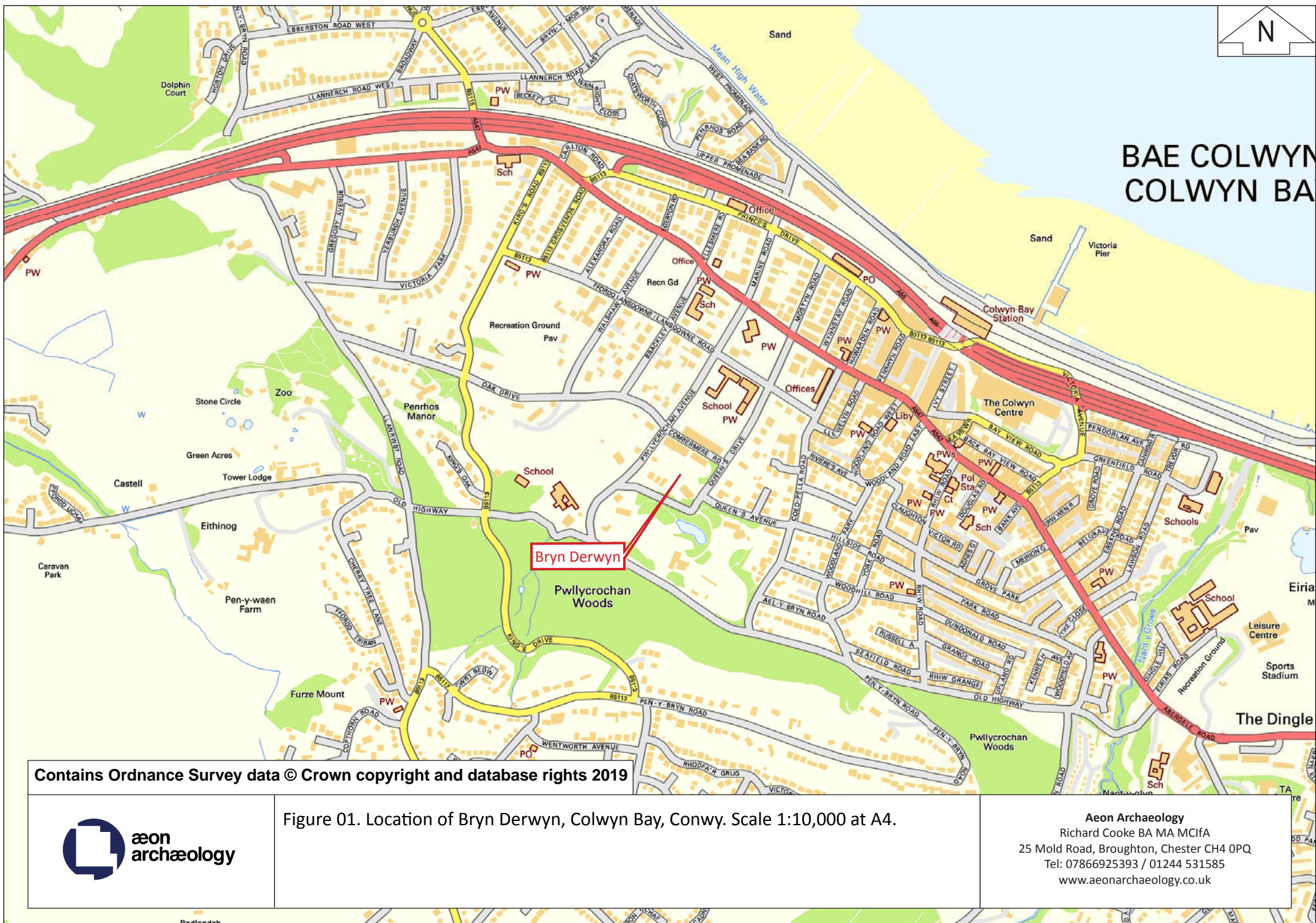
No development shall take place until a programme of building recording and analysis, equivalent to an English Heritage Level 3 building survey, has been secured and implemented and submitted to and approved in writing by the local planning authority.

Reason

In order to secure an adequate analytical record of the building to be made before they are altered.

This design and all subsequent mitigation will conform to the guidelines specified in English Heritage 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2014).

The building is not recorded in the historic environment record (HER) and is considered of local and regional architectural interest. The demolition of this structure will completely remove the historic asset and therefore a Level 3 record had been requested. The building also lies within the Pwllcrochan Conservation Area. Conservation areas are parts of towns and villages that have a special architectural or historic value. Development proposals within these areas must respect their special character.





2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO *Convention Concerning the Protection of World Cultural and Natural Heritage*¹ and the *European Convention on the Protection of the Archaeological Heritage*², commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the *Planning (Conservation Areas and Listed Buildings) Act*³ 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the *Town and Country Planning 1995*.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

¹ UNESCO, 1972, *Convention Concerning the Protection of the World Cultural and Natural Heritage*

² Council of Europe, 1992, *European Convention on the Protection of the Archaeological Heritage*

³ Great Britain. *Planning (Conservation Areas and Listed Buildings) Act*. Elizabeth II.(1990), London: The Stationery Office

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 SPECIFICATION AND PROJECT DESIGN

3.1 Building Record

The requirements were for an archaeological building record of the old coach house at Bryn Derwyn prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the demolition, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The CPAT Development Control Archaeologist had requested that the building record be roughly commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 3**.

Level 3 is an analytical record, and should comprise of an introductory description followed by a systematic account of the building's origins, development and use. The record should include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It should also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.

The information contained in the record should for the most part have been obtained through an examination of the building itself. If documentary sources are used they are likely to be those most readily accessible, such as historic Ordnance Survey maps, trade directories, and other published sources. The record will not normally discuss the building's broader stylistic or historical context and importance at any length.

The detailed photographic record should consist of English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2016) elements:

- written account: 1-3, 6-9, 11-13, 22
- drawings: 2
- photographs: 1-9

4.0 METHOD STATEMENT

4.1 Level 3 Record

4.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.
- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

4.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the rooms to be altered.
- Any internal or external detail.
- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

4.1.3 Drawings

The drawn record will include:

- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

- An elevation drawing of wall 'G' which is to be removed.
- A measured plan of the wheel pit/turbine room including fixtures and fittings.

4.1.4 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

5.0 METHODS AND TECHNIQUES

The significance, origins and development of the site are discussed with reference to the available historical sources. A photographic record was made using a Canon DSLR 600D camera set to maximum resolution. The location and direction of photographs are shown on figure 04.

Existing architects' plans were utilised for the purpose of locating and orientating photographs, and all features, details, room spaces, and elevations to be impacted upon were photographed and described to illustrate the setting, appearance, and structure of the building. Photographic images were labeled with the subject, orientation and the date taken, and cross-referenced to a digital file.

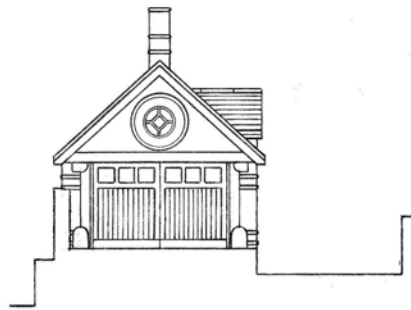
6.0 ARCHAEOLOGICAL AND HISTORICAL RECORD

In the early 19th century the area of what is now Colwyn Bay, from Nant y Glyn Road in the east to the West End in the west, and southwards to the edge of the built up area on Llanrwst Road, was part of the Pwllcrochan estate. The land was largely agricultural with a few farm buildings.

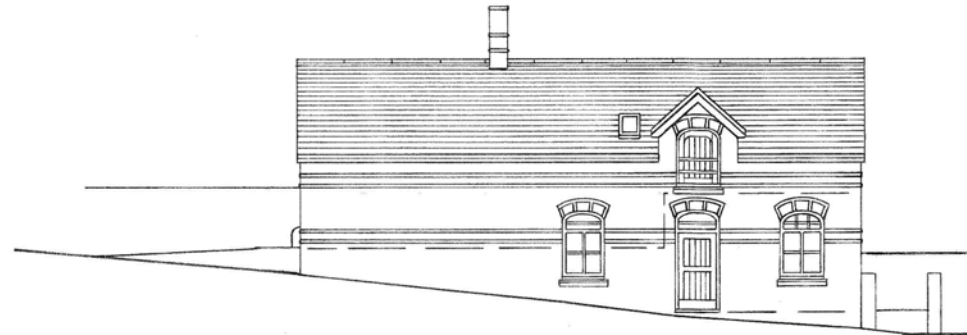
The coach house is not depicted on the 1840s tithe map or on the first edition six inch county series Ordnance Survey map of 1875 (figure 05). The building is however shown on the second, third and fourth edition six inch county series Ordnance Survey maps of 1900, 1914 and 1945 respectively (figures 06, 07 and 08) where it is shown as an L-shaped building orientated north-northeast to south-southwest.

The name Pwllcrochan means Cauldron pool, reflecting the nature of the stream which flows down the adjacent Dingle. The first mansion called Pwllcrochan was probably built in the late 17th century. The current building is the successor of several mansions of the same name. The land subsequently passed to the ownership of the Williams family and in 1808 was inherited by Jane Silence Williams.

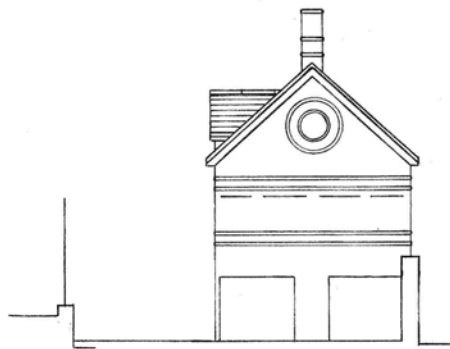
In 1821 she married Sir David Erskine of Cambo, Fifeshire and they decided to make Pwllcrochan their home, demolishing and replacing the existing house. Small fields were combined to form parkland either side of the private drive (now Pwllcrochan Avenue) which led to the turnpike at the foot of the hill – now Abergele/Conway Roads. After Sir David died in 1841, his widow continued to live there with her six children. However Lady Jane and her son, the new Sir Thomas, in turn demolished the house and replaced it with what is part of the present property. In 1865, as Sir Thomas found that he needed to spend more time on his Scottish properties, he decided to sell his Welsh properties (<https://colwynbayheritage.org.uk/the-pwllcrochan-estate/>).



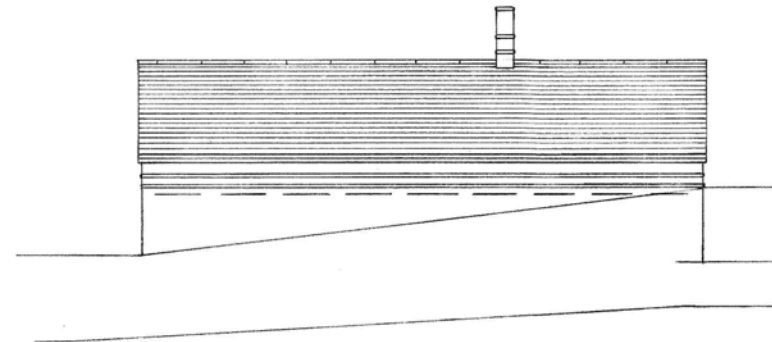
SOUTH WEST



SOUTH EAST



NORTH EAST



NORTH WEST

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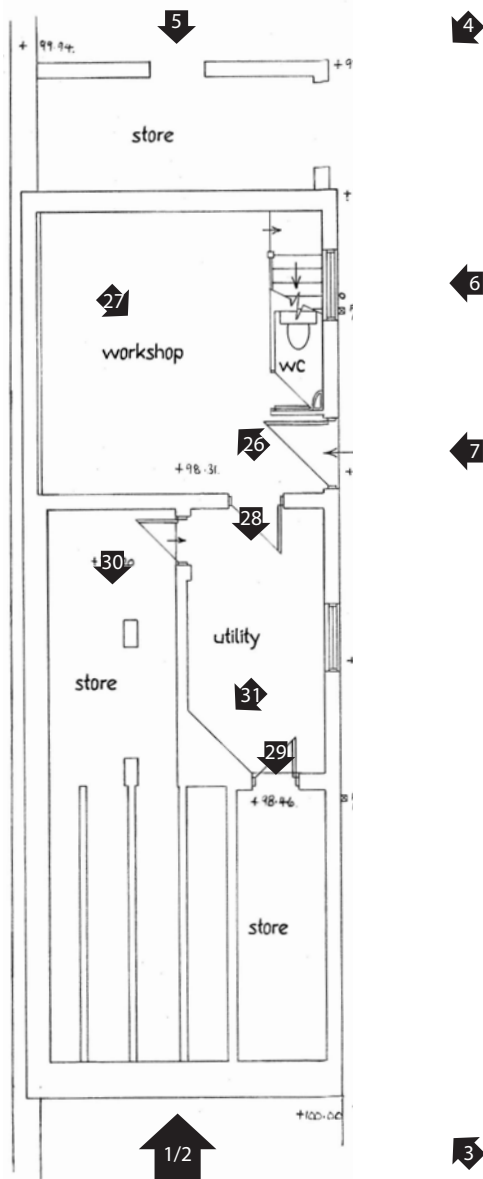
1:400



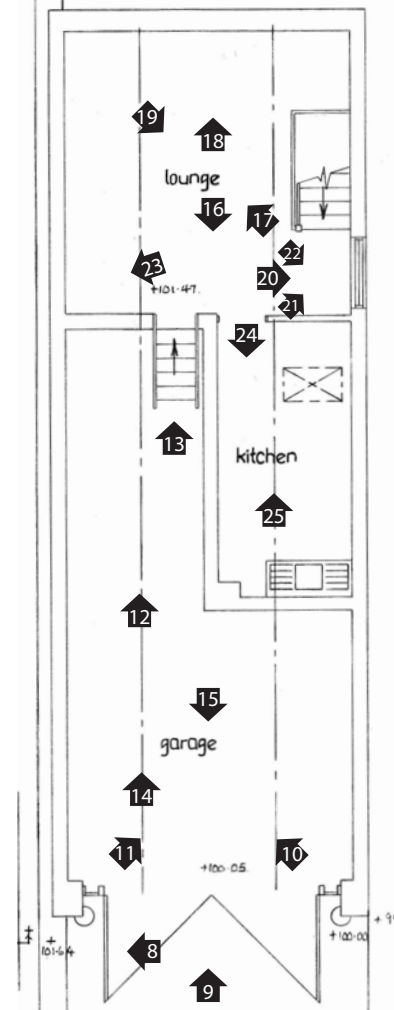
Figure 03. Elevation plans of coach house at Bryn Derwyn, Colwyn Bay showing all four major elevations. Scale 1:400 @ A4.

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Ground Floor



1st Floor



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1:200



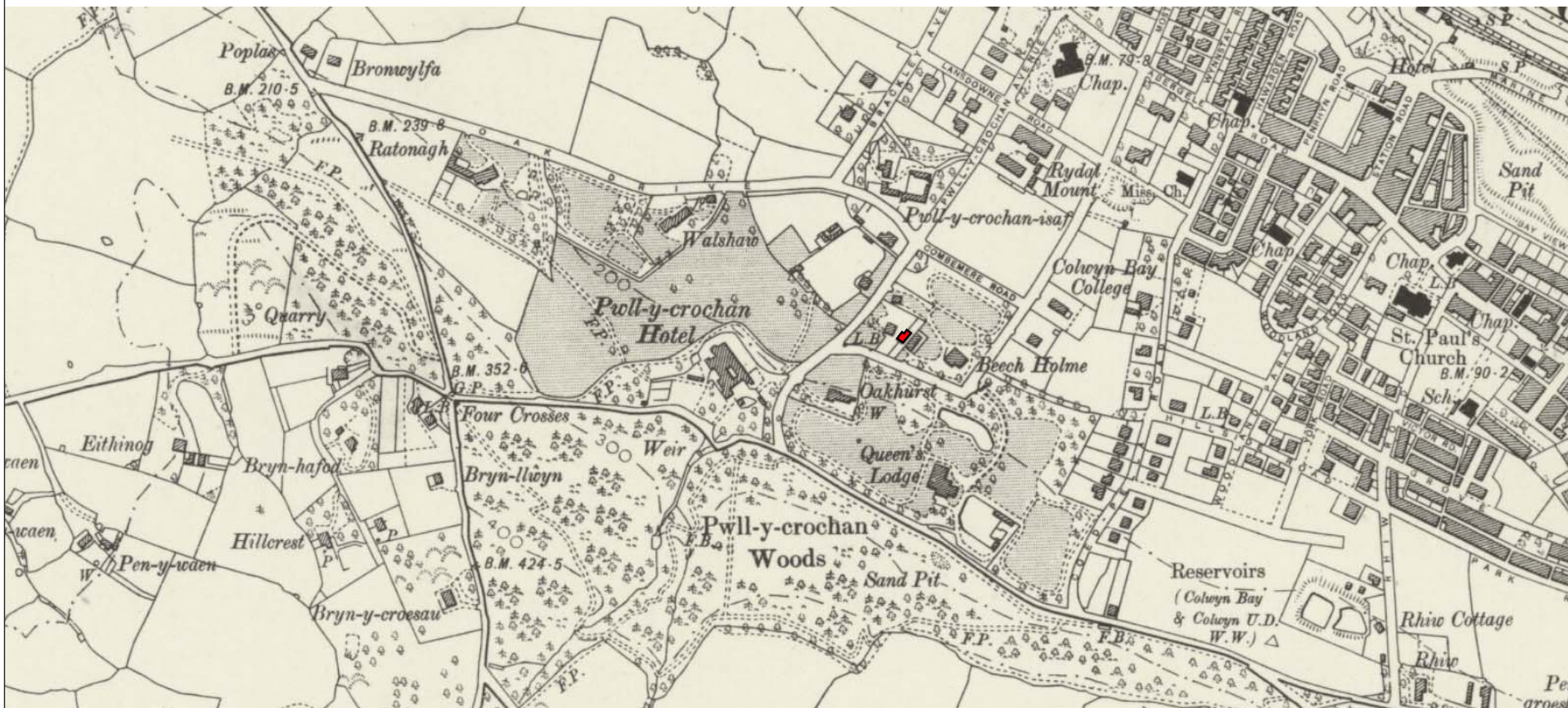
Figure 03. Plans of coach house at Bryn Derwyn, Colwyn Bay showing locations of photographic plates 1-31. Scale 1:200 @ A4.

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Figure 05. First edition - OS 6 inch map (published 1875) showing current location (in red). of the old coach house, Bryn Derwyn, Colwyn Bay. No Scale.

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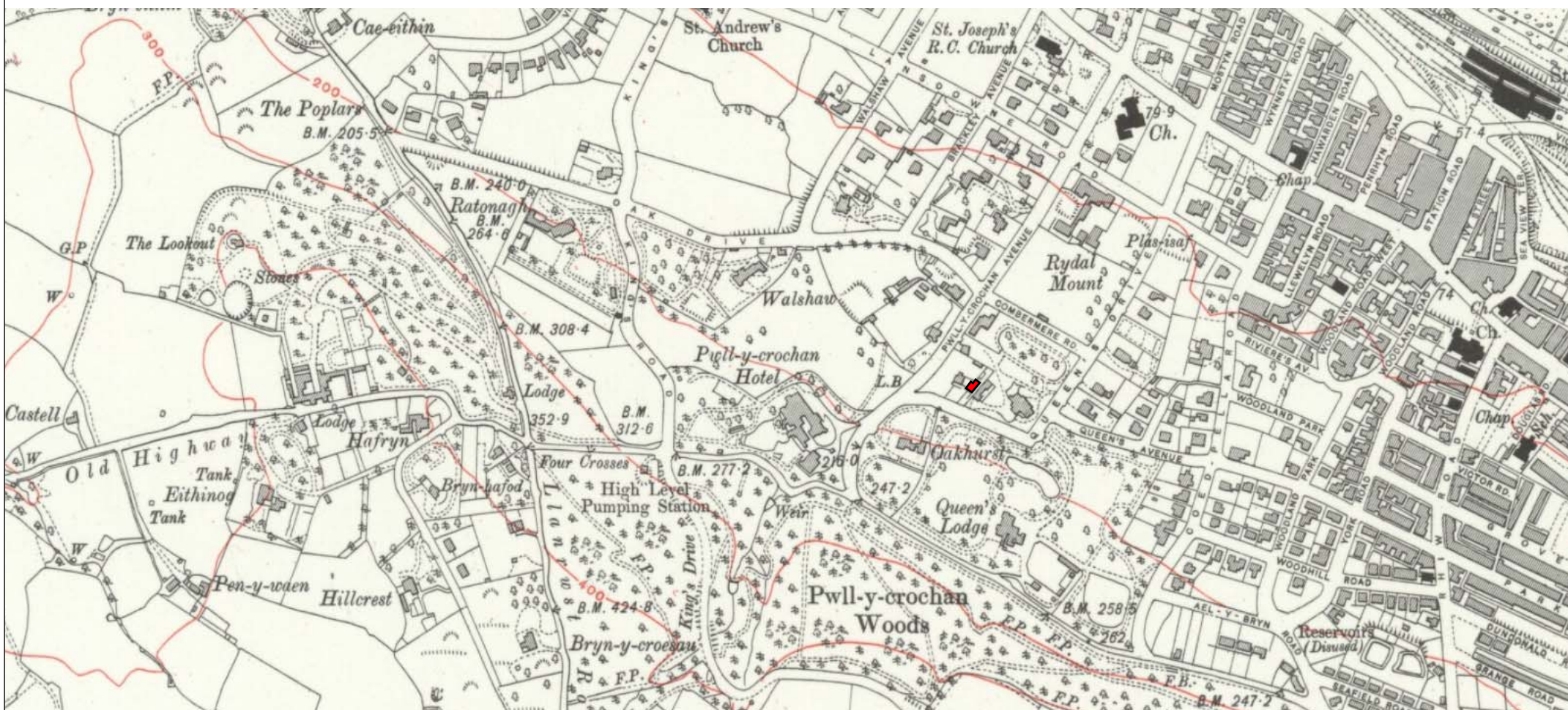


Figure 07. Third edition - OS 6 inch map (published 1914) showing current location (in red). of the old coach house, Bryn Derwyn, Colwyn Bay. No Scale.

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Figure 08. Fourth edition - OS 6 inch map (published 1945) showing current location (in red). of the old coach house, Bryn Derwyn, Colwyn Bay. No Scale.

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7.0 BUILDING DESCRIPTION

The old coach house at Bryn Derwyn is a long, narrow two story structure, constructed of mostly yellow bricks bonded with Portland cement mortar with a slate roof. The building is orientated north-northeast to south-southwest and is constructed upon a slope located to the northeast of the Pwllcrochan preparatory school.

External description

The south-western gable end of the property has a double pitched roof of blue-grey slates. Visible at the ridge is a red ceramic finial with red ceramic ridge tiles. Below the roof line and covering the eaves is a black painted wooden weatherboard, furthermore two wooden purlin terminus project from the building to the left and the right just below the weatherboard. The elevation is constructed from yellow brick bonded by Portland cement mortar in a Flemish bond style. The brick pillars either side of the door have details of salt-glazed brickwork incorporated into the bond design, with two courses at the base of the pillar and two more at two-thirds height.

The elevation is dominated by a large black-painted wooden board cart door which is set within a wooden frame; this is of a heavy construction and braced diagonally with metal bars on the inside. Furthermore each of these doors has three equally spaced window lights located in a narrow upper portion of the door. Located above the door is a large black-painted oak lintel which is supported at each end by carved limestone corbels. At the very base of the brick pillars (upon which the corbels are situated) are two stone-carved *bullets* which may have acted as door stops or provided clearance for the cart wheels near the pillars. Centrally located within the upper portion of the gable is an oculus window; this consists of five windowpanes with the central pane formed into a diamond shape. Radiating outward in a circular pattern from the window opening are elongated, trapezoid shaped bricks which are in turn surrounded by a circular border of salt glazed bricks.

The south-eastern elevation of the building is constructed from yellow bricks laid in the Flemish bond style with the same salt glazed bricks design incorporated running the length of the elevation; this design consisting of two courses of salt glazed bricks (spaced by a single course) located just below the eaves and another set about one third of the way up the wall. The property has been roofed with blue grey slate and a red ceramic ridge tile runs along the crest of the roof, halfway along the roof is a chimney stack comprising of yellow bricks bonded by Portland cement mortar which again exhibits the glazed brick design. At the right-hand end of the elevation there is a dormer like projection on the upper floor where there is access via a small three-quarter sized door into the first floor lounge room (this may have been an earlier hayloft); this hatchway is constructed from wood and set within a wooden frame both of which are painted green, there is also a dressed stone step located at the base of the doorway.

On the ground floor and almost contained within the right half of the elevation there is a single doorway flanked by two large windows. The doorway is of a heavy braced and batten construction, this door is painted green and set within green painted wooden frames. Above the doorway are radiating brick voussoirs comprising of an intermittent yellow brick and salt glaze brick. To the right of the doorway is a large five pane window; the lower two-thirds of this window is separated into four equally sized panes whereas the upper pane forms a curved head which is further separated into six smaller panes. These window panes are all set within green painted wooden frames with a dressed stone sill beneath. Another window is located to the left of the doorway and this is identical to the one on the right.

The north-eastern elevation is constructed from yellow brick bonded by Portland cement mortar with salt glazed bricks design incorporated once more. This elevation is largely featureless apart from a green-painted weatherboard located below the eaves and the purlin terminal ends projecting outward from the gable. Another oculus window is present here exhibiting the same brickwork design as is present on the south-western elevation, although the window itself consists of a single glazed pane set within a green-painted wooden frame. Projecting outward from the Gable at the base is a small brick walled cell which may have at one time been a single-storey storage area, the top third of this structure has been removed/demolished and the space inside is full of modern refuse and overgrown with plants.

The north-western elevation is not visible due to it being bounded by a property and boundary wall to the northwest.

First Floor – Internal descriptions

The Garage

The room is roughly square in plan but is slightly orientated northwest to southeast although there is a narrowing of the room in the north-western quadrant - this is due to the projection of the chimney breast from the floor below and the construction of the kitchen in the eastern quadrant of the room. The room measures approximately 8.40m in length by 4.35m in width. The uppermost portion of the ceiling is obscured by a modern plasterboard partition. A centrally located hatchway does provide a limited view of the roof ridge and the older torchings (ceiling sealant) of the original roof. The ceiling construction is comprised of two large wooden purlins which project along the length of the room – the purlin on the north-western side of the room is longer due to the presence of the kitchen and/or chimney breast. Supported by these timber purlins are a series of rafters which support battens; in between these battens the roof has been sealed and all of this sealant material and all of the timber has been painted white. Halfway down this room within the building (roughly located within the north-western quadrant) is a queen-post truss that runs from northwest to southeast; this truss only provides support for the purlin on the north-western side - this may be because it was truncated by the installation of the kitchen although it appears to run into the chimney breast and is supported by that wall.

The north-western elevation is staggered due to the presence of the chimney breast/kitchen wall to the right hand side. The wall is constructed from brickwork in the Running bond style which has been painted white and is otherwise featureless. To the left hand side and located much further back is a doorway which is located on the upper right hand portion of this section of wall; this door is accessed by a set of wooden steps and provides access to the lounge area. Apart from this the elevation is featureless. The south-eastern elevation is also constructed from brickwork (Running bond) painted white. Set against this elevation is a timber work bench with a vice attached and on the left hand side is a small cast iron radiator painted grey. Apart from this the elevation is featureless.

The south-western elevation is dominated by the large garage double doors; these are of heavy construction and painted black and set within black-painted wooden frames – the doors are cross braced with metal straps. Above these doors the elevation is constructed from brickwork (Running bond) painted white with an oculus window centrally located above the wooden garage doors.

The north-western elevation is the longest elevation and is constructed from brickwork (Running bond) painted white. Its lower third has been rendered and projects out into the room slightly. Apart from this the wall is featureless.

The floor is comprised of heavy timber floorboards which are orientated northwest to southeast; the floor has been stained in areas with oil but there is no evidence of cart marks suggesting it may not be contemporary. The room currently houses various tools, a set of ladders and steel containers.

The Lounge

The lounge is nearly square in plan, measuring 4.35m in length by 4.30m in width orientated northwest to southeast. The ceiling is once again obscured in the central portion by a modern plasterboard partition; it has a single light bulb located in the centre. Either side of the plasterboard partition the roof purlins can be observed running through into the gable end although the rafter and batten construction of the roof pitch is obscured by wooden board panelling.

The north-eastern elevation is constructed from brickwork (Running bond) painted white. Centrally located within the elevation is a single oculus window, below which is a very small cast-iron radiator painted grey. The south-eastern elevation is constructed from brickwork painted white (Running bond). To the right-hand end is a three-quarter size doorway - which permits access to the exterior and may have once provided access to the lounge (possible previous hayloft) which may have been a storage area in the past. This doorway is of heavy construction and set within white painted wooden frames, the door is also painted white with a decorative cast-iron handle fitting. The dormer construction visible on the exterior is also visible within the layout of the ceiling at this point; diagonal ceiling joists form a rectangular dormer and this is tied into the rest of the roof with mortise and dowel joints.

The south-western elevation is constructed from brickwork painted white (Running bond). Located just off-centre to the left and right are two doorways. The left-hand doorway permits access to the kitchen while the right-hand doorway permits access to wooden steps which lead back down towards the garage. To the left of the kitchen doorway the elevation has been roughly rendered. Apart from this the elevation is featureless. The north-western elevation is constructed from brickwork (Running bond) which is been painted white and apart from this the elevation is featureless.

The floor has been constructed from wooden boards consisting of a heavy lumber which are orientated northeast to southwest. Within the western corner of the room is a small hatch which permits access to the workshop below and within the south-eastern portion of the room is a staircase which also leads to the workshop. The room currently houses two cupboards.

The Kitchen

The kitchen is a narrow rectangular room orientated northeast to southwest. The room measures approximately 3.90m in length by 2.00m in width. The ceiling is partially obscured by a plasterboard partition however the roof purlin is visible; the roof pitch has been covered over by wooden boards which have been painted white and on the south-western side there is a roof light set within a white-painted wooden frame. The north-eastern elevation has been rendered and painted white. A single wooden board door is located to the left hand side and is painted white and set within white-painted wooden frames. The southeast elevation is very low (eaves height) and is constructed from brickwork (Running bond) which has been painted white; a very small cast iron radiator is centrally located along the elevation. The south-western elevation comprises of brickwork (Running bond) which has been painted white, on the right hand side of the elevation there is a brick column which runs from the ceiling through the floor. Set against this elevation is a 1950s style sink unit. The north-western elevation is constructed from brickwork (Running bond) which has been painted white. The floor is comprised of the same wooden boards which run through from the lounge on a northeast to southwest axis. The room currently houses several 1950s style units.

Ground Floor – Internal descriptions

Workshop

The workshop is nearly square in plan measuring 4.35m in length by 4.30m in width orientated northeast to southwest. The ceiling is quite tall in this room and consists of plasterboard which has been painted white and in the western corner is a small hatch which leads to the lounge located above, located within the centre of the ceiling is a single fluorescent strip light.

The north-eastern elevation is constructed from brickwork (Running bond) which has been painted white but apart from this is otherwise featureless. The south-eastern elevation is largely obscured by a wooden staircase which provides access to the lounge above. At the right-hand end of the elevation is a single doorway which permits access to the south-eastern exterior of the property. This doorway is painted white and set within white-painted wooden frames with a window light located above; this window has six small glass window panes. The left-hand side of the elevation is partially obscured by the staircase, however there is a window which consists of four larger lower window panes with a single curved head window pane located above - identical in style to the one located above the doorway. Beneath the stairs and to the left of the doorway is a small toilet cubicle with a porcelain toilet and wash basin.

The south-western elevation is constructed from brickwork (Running bond) which is has been painted white. On the left-hand side of the elevation is a single doorway with white painted wooden door set within white-painted wooden frames which provides access to the utility room. This doorway has two courses of brick voussoirs above it which have also been painted white. The wall also has a large piece of timber attached halfway up which appears to be acting as a storage rack for rope and cables.

The north-western elevation is constructed from brickwork (Running bond) painted white although on its lower portions it seems to have been heavily rendered and projects into the room slightly, this has also been painted white. Apart from this the elevation is featureless. The floors are of poured concrete. The room is currently being used as a storage area for tools.

The Utility Room

The utility room is a narrow rectangular room orientated southwest to northeast. The room measures approximately 4.00m in length by 2.05m in width. The ceiling is comprised from wooden boarding which has been painted white and centrally located within the ceiling is a single light bulb. The north-eastern elevation is boarded with white-painted wooden planks and a single doorway permits access to the workshop. The south-eastern elevation is constructed from brickwork (Running bond) which has been painted white. Centrally located within the elevation is a large window which has been separated into four separate panes in its lower two-thirds and a smaller light which has been divided into a further six window panes above. These are set within white-painted wooden frames and to the left and below the window the wall has been covered with white-painted wooden planks.

The south-western elevation is comprised of brickwork (Running bond) which has been painted white. On the left hand side there is a low door which permits access to store 2; the door is a wooden panel door painted white set within white painted wooden frames.

Projecting from halfway along this elevation on a 45° angle and connecting with the north western elevation is a chimney breast. The lower portion of the chimney breast is constructed from white-painted brickwork which forms the fireplace, the hearth of which has been built from red-bricks bonded by mortar. Located within the fireplace is a modern water boiler. The north-western elevation is constructed from brickwork (Running bond) painted white although the right-hand end has been covered over with wooden planks which have also been painted white. On the right-hand end of the elevation is a single doorway which permits access to store one; this door is of wooden board construction and is painted white and set within white-painted wooden frames.

The floor is comprised of poured concrete. The room currently houses a medium-sized metal container and scaffolding supports.

Store 1

Store one is a long rectangular room orientated southwest to northeast. The room measures approximately 8.00m in length by 2.20m in width. The ceiling is comprised of a single wooden joist which runs the length of the room and supports a timber floor above. At the northeast end there is a single pillar which has been constructed from modern breezeblock and bonded with mortar, further towards the southwest end the room has been partitioned into three bays by two further internal walls which have also been constructed from breeze blocks bonded by mortar and also serve to support the floor above. All of the elevations are constructed from brickwork (Running bond) which has been painted white, but apart from this they are all featureless.

The floor is comprised of many red and off-white, square shaped quarry tiles. The room is currently being used as storage for breeze blocks, pieces of timber and other assorted building materials.

Store 2

This room appears as a very narrow rectangle in plan and is orientated southwest to northeast. The room measures approximately 6.32m in length by 4.15m in width. There are two shallow steps which have been constructed from cast concrete which permit access into the room. The ceiling comprises of a single joist that runs the length of the room and is supported by a brick pillar at the south western end; this joist in turn supports a wooden floor above. All of the elevations are comprised of brickwork (Running bond) painted white - although on the north-western elevation near the doorway there is a small area which appears to have been patched up which may have at one point provided access into store 1. The room is currently empty apart from a couple of cardboard boxes.



Plate 01: Entrance and double cart doors of coach house (south western elevation) - from the southwest - scale 1m

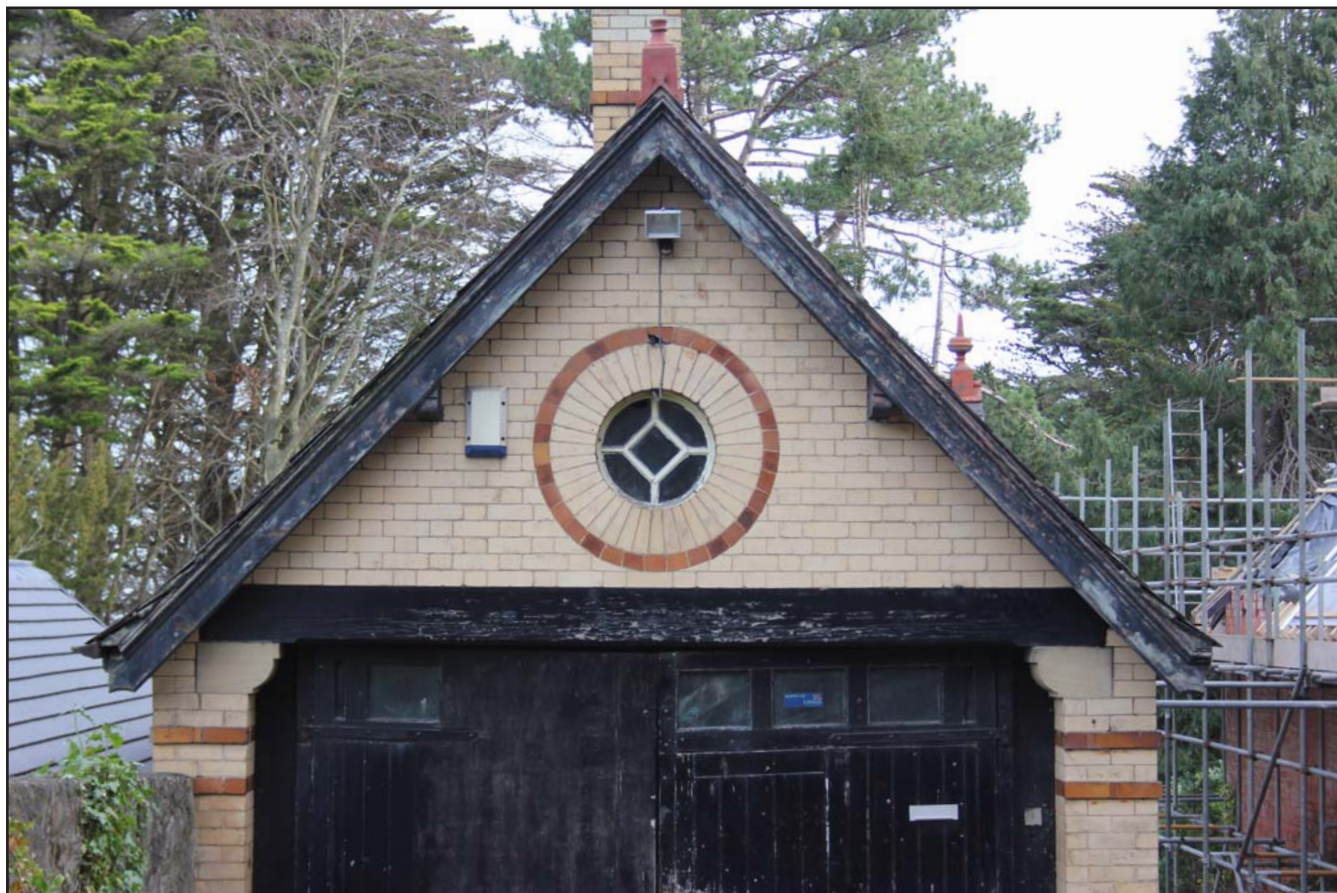


Plate 02: South western gable end showing oculus window - from the southwest - scale n/a



Plate 03: South western and south eastern elevations (oblique) - from the south - scale 1m



Plate 04: North eastern and south eastern elevation (oblique) - from the southwest - scale 1m



Plate 05: North eastern gable of coach house - from the northeast - scale 1m



Plate 06: Window on south eastern elevation - from the southeast - scale 1m



Plate 07: Doorway (leading to workshop) on south eastern elevation - from the southeast - scale 1m



Plate 08: Interior of one half of the cart doors (showing construction) - from the southeast - scale 1m



Plate 09: Interior of garage (1st Floor) - from the southwest - scale 1m



Plate 10: Northern corner of garage - from the south - scale 1m



Plate 11: Eastern corner of garage - from the west - scale 1m



Plate 12: Northern corner of garage (leading to lounge via wooden steps) - from the southwest - scale 1m



Plate 13: Wooden steps leading to lounge - from the southwest - scale scale 1m



Plate 14: Ceiling in garage with possible truncated queen-post truss - from the southwest - scale 1m



Plate 15: Oculus window (interior shot) set into south western gable - from the northeast - scale 1m



Plate 16: Shot from lounge toward kitchen door (left) and garage (right) - from the northeast - scale 1m



Plate 17: Northern corner of lounge - from the south - 1m scale



Plate 18: Oculus window in lounge - from the southwest - scale 1m



Plate 19: Shot into southern corner of lounge showing 3/4 door - from the northwest - 1m scale



Plate 20: 3/4 door within south eastern elevation of lounge (provides access to exterior of property) - from the northwest - 1m scale



Plate 21: Timber dormer construction within ceiling construction to upper left of 3/4 door - from the west - n/a scale



Plate 22: Timber dormer construction within ceiling construction to upper right of 3/4 door - from the north - n/a scale



Plate 23: Small hatchway leading to workshop below - from the southeast - scale 1m



Plate 24: Shot of kitchen showing units - from the northeast - scale 1m



Plate 25: Shot of kitchen showing access to lounge - from the southwest - scale 1m



Plate 26: Northern corner of workshop - from the south - scale 1m



Plate 27: Southern corner of workshop showing access to exterior (left) and utility (right) - from the north - scale 1m



Plate 28: Utility room with doorway to store 2 (center frame) - from the northeast - scale 1m



Plate 29: Store 2 - from the northeast - scale 1m



Plate 30: Store 1 - from the northeast - scale 1m



Plate 31: Fireplace within utility room - from the east - scale 1m

8.0 CONCLUSION

The current coach house building is first depicted on the second edition six inch county series Ordnance Survey map of 1900. It may date to the latter part of the 19th Century, however it is not present on the first edition six inch county series Ordnance Survey map of 1875 and so must have been built between 1875 and 1900. The old coach house therefore probably did not have an association with the Pwllcrochan Estate as by this time the estate had been sold and the development of Colwyn Bay was underway. The development of the town was linked to the sale of the estate in 1865 and to the subsequent establishment of the Colwyn Bay and Pwllcrochan Estate Company in 1875.

The peak of the Colwyn Bay and Pwllcrochan Estate Company was between 1875 and the 1920s. During that period the settlement grew from being largely rural in nature to become established as an important town and seaside resort in the late Victorian period. The old coach house could in part represent an example of that paradigm shift; its physical fabric, the use of salt-glazed bricks and decorative ceramic finials on the ridge of the roof illustrates that this building was part of a social-cultural trend which went towards distinguishing Colwyn Bay from its rural past through modernisation and the new economies instated by late Victorian/early Edwardian tourism.

This historic building record can be seen as having fulfilled the spirit and intent of the archaeological condition applied to the planning permission.

8.0 SOURCES

Maps.

Ordnance Survey 1st edition 6 inch map 1875.

Ordnance Survey 2nd edition 6 inch map 1900.

Ordnance Survey 3rd edition 25 inch map 1914.

Ordnance Survey 4th edition 25 inch map 1945.

Secondary Sources

English Heritage, 2016. *Understanding Historic Buildings: a guide to good recording practice.*

Colwyn Bay Heritage Online (accessed 2019) available at;
<https://colwynbayheritage.org.uk/the-colwyn-bay-and-pwllcrochan-estate-company/>



aeon archaeology

**Bryn Derwyn, Colwyn Bay,
Conwy, LL29 7BH.**

**Written Scheme of Investigation for
Historic Building Record Level 3**

**February 2019
V 1.0**



Event PRN: 152158
Project Code: A0197.1
Application Ref: 0/45729
Client: Paul Williams

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1.0 PROJECT BACKGROUND

Gofynnwyd i Aeon Archaeology gan Mr Paul Williams (y cleient o hyn ymlaen) ddarparu cynllun ymchwilio ysgrifenedig (WSI) ar gyfer cynnal cofnod adeilad hanesyddol - lefel 3 o'r hen dŷ coets (anrhestredig) ym Mryn Dewyn, Bae Colwyn, Conwy LL29 7bh (yn canolbwyntio ar NgR SH 84418 78794) cyn iddo gael ei ddymchwel.

Mae'r gwaith lliniaru archeolegol yn cael ei gwblhau fel rhan o'r cais cynllunio llawn (cyfeirnod cynllunio 0/45729) cyn dymchwel y tŷ coetsis (anrhestredig) ym Mryn Derwyn cyn codi annedd deulawr newydd gyda rhan annatod Garej.

Aeon Archaeology has been asked by Mr Paul Williams (hereafter the Client) to provide a Written Scheme of Investigation (WSI) for carrying out a level 3 historic building record of the unlisted former coach house at Bryn Dewyn, Colwyn Bay, Conwy LL29 7BH (centred on **NGR SH 84418 78794**) in advance of demolition. The building record will be undertaken as Clwyd Powys Archaeological Trust (CPAT) primary reference event number (PRN) **152158**.

The archaeological mitigation is being completed as part of full planning application (Planning reference **0/45729**) for the demolition of the unlisted brick coach house at Bryn Derwyn ahead of the erection of a new two storey dwelling with integral garage.

As per the recommendations of the Clwyd Powys Archaeological Trust, Development Control Archaeologist the following condition has been assigned to full planning permission:

Condition 11

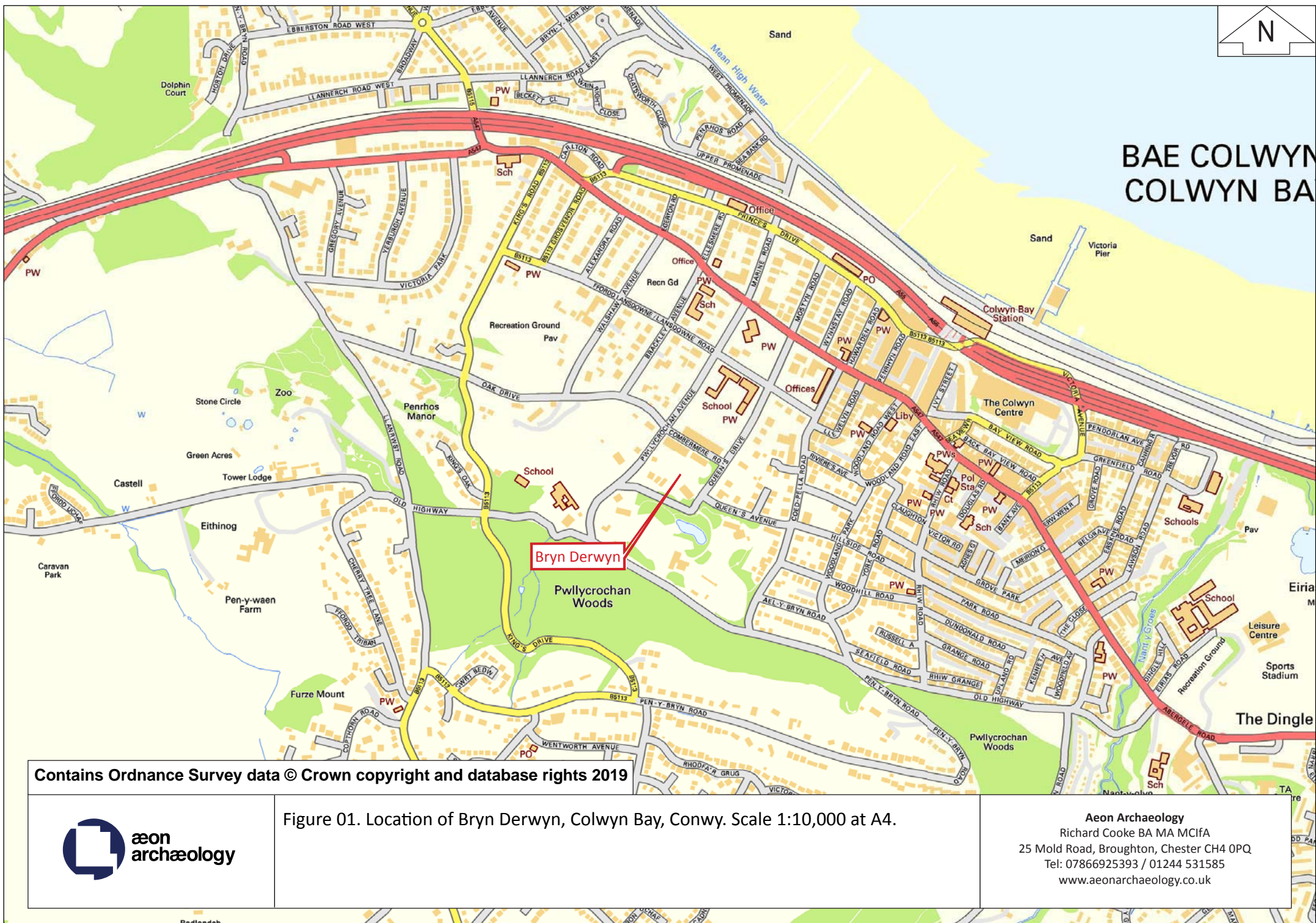
No development shall take place until a programme of building recording and analysis, equivalent to an English Heritage Level 3 building survey, has been secured and implemented and submitted to and approved in writing by the local planning authority.

Reason

In order to secure an adequate analytical record of the building to be made before they are altered.

This design and all subsequent mitigation will conform to the guidelines specified in English Heritage 'Understanding Historic Buildings: a guide to good recording practice' (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2014).

The building is not recorded in the historic environment record (HER) and is of local and regional architectural interest. The demolition of this structure will completely remove the historic asset and therefore a Level 3 record had been requested. The building also lies within the Pwllcrochan Conservation Area. Conservation areas are parts of towns and villages that have a special architectural or historic value. Development proposals within these areas must respect their special character.





2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO *Convention Concerning the Protection of World Cultural and Natural Heritage*¹ and the *European Convention on the Protection of the Archaeological Heritage*², commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the *Planning (Conservation Areas and Listed Buildings) Act*³ 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the *Town and Country Planning 1995*.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

¹ UNESCO, 1972, *Convention Concerning the Protection of the World Cultural and Natural Heritage*

² Council of Europe, 1992, *European Convention on the Protection of the Archaeological Heritage*

³ Great Britain. *Planning (Conservation Areas and Listed Buildings) Act*. Elizabeth II.(1990), London: The Stationery Office

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.5.5 concerns planning applications:

The conservation of archaeological remains is a material consideration in determining a planning application, whether those remains are a scheduled monument or not. Where nationally important archaeological remains, whether scheduled or not, and their settings are likely to be affected by proposed development, there should be a presumption in favour of their physical protection in situ. It will only be in exceptional circumstances that planning permission will be granted if development would result in an adverse impact on a scheduled monument (or an archaeological site shown to be of national importance) or has a significantly damaging effect upon its setting. In cases involving less significant archaeological remains, local planning authorities will need to weigh the relative importance of the archaeological remains and their settings against other factors, including the need for the proposed development.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 HISTORIC BACKGROUND

In the early 19th century the area of what is now Colwyn Bay, from Nant y Glyn Road in the east to the West End to the west, and southwards to the edge of the built up area on Llanrwst Road, was part of the Pwllcrochan estate. The land was largely agricultural with a few farm buildings. The coach house was constructed somewhere between 1876 and 1900 according to historic mapping.

The name Pwllcrochan means Cauldron pool, reflecting the nature of the stream which flows down the adjacent Dingle. The first mansion called Pwllcrochan was probably built in the late 17th century. The current building is the successor of several mansions of the same name. The land subsequently passed to the ownership of the Williams family and in 1808 was inherited by Jane Silence Williams.

In 1821 she married Sir David Erskine of Cambo, Fifeshire and they decided to make Pwllcrochan their home, demolishing and replacing the existing house. Small fields were combined to form parkland either side of the private drive (now Pwllcrochan Avenue) which led to the turnpike at the foot of the hill – now Abergele/Conway Roads. After Sir David died in 1841, his widow continued to live there with her six children. However Lady Jane and her son, the new Sir Thomas, in turn demolished the house and replaced it with what is part of the present property. In 1865, as Sir Thomas found that he needed to spend more time on his Scottish properties, he decided to sell his Welsh properties.

(<https://colwynbayheritage.org.uk/the-pwllcrochan-estate/>)

4.0 REQUIREMENTS

4.1 Building Record

The requirements are for an archaeological building record of Bryn Derwyn coach house prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the alteration works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development.

The CPAT Development Control Archaeologist has requested that the building record be commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 3**.

Level 3 is an analytical record, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.

The information contained in the record will for the most part have been obtained through an examination of the building itself. If documentary sources are used they are likely to be those most readily accessible, such as historic Ordnance Survey maps, trade directories, and other published sources. The record will not normally discuss the building's broader stylistic or historical context and importance at any length.

The detailed photographic record will consist of English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) elements:

- written account: 1-3, 6-9, 11-13, 22
- drawings: 2
- photographs: 1-9

5.0 METHOD STATEMENT

5.1 Level 3 Record

5.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.
- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

5.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the rooms to be altered.
- Any internal or external detail.
- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

5.1.3 Drawings

The drawn record will include:

- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.
- External elevation drawings

5.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

6.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged in an appropriate place within six months of the completion of the project.

Upon completion of the project copies of the report will be sent to the regional HER and Development Control Archaeologist (CPAT, 41 Broad Street, Welshpool, Powys, SY21 7RR). Archiving with the regional HER will adhere to the welsh archaeological trust's *guidance for the submission of data to the welsh historic environment records (2018)*. In addition a digital version of the report and associated archive will be sent to the Royal Commission on the Ancient and Historic Monuments in Wales (RCAHMW) and will adhere to the RCAHMW guidelines for digital archives version 1 (2015).

7.0 PERSONNEL

The work will be managed and undertaken by Richard Cooke BA MA MCIfA, Archaeological Contractor and Consultant at Aeon Archaeology. Full details of personnel involved, with *curricula vitae*, can be supplied upon request.

8.0 RESOURCES AND PROGRAMMING

It is intended to undertake the historic building recording in February 2019. A provisional target date for the completion of the project archive and the production of a project report is February 2019.

The historic building recording will be undertaken by a team of demonstrable competence provided by Aeon Archaeology, a Registered Organisation with the CIfA.

Performance Standards

Aeon Archaeology will undertake the historic building recording and operate in accordance with:

- The Chartered Institute for Archaeologists' *Code of Conduct* (2014 edition).
- The Chartered Institute for Archaeologists' *Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology* (2014 edition).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (2014 edition)
- The Historic England document *Understanding Historic Buildings A Guide to Good Recording Practice* (2016)
- The European Association of Archaeologists' *Principles of Conduct for Archaeologists Involved in Contract Archaeological Work* (1998).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Collection, Documentation, Conservation and Research of Archaeological Materials* (2014 edition).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014 edition)

9.0 MONITORING AND TIMING

The CPAT Development Control Archaeologist will monitor the historic building recording on behalf of the Council.

Reasonable access to the recording in-progress will be provided by the Client to the CPAT Development Control Archaeologist in order to monitor the recording. A site tour will be provided to the CPAT Development Control Archaeologist if appropriate.

Aeon Archaeology will advise the Client and the CPAT Development Control Archaeologist immediately of any significant discoveries and provide regular reports of the recording works. Aeon Archaeology will ensure that any significant results recovered during the historic building recording are brought to the attention of the Client and the CPAT Development Control Archaeologist and will notify the relevant organisations as soon as is practicably possible, and certainly within 24 hours.

A consultation between Aeon Archaeology, the Client and the CPAT Development Control Archaeologist will be convened towards or at the conclusion of the historic building recording. The purpose of the consultation is to advise all parties on the manner in which the objectives of the project have been addressed and secure agreement that the on-site recording has been concluded to the satisfaction of the Council.

10.0 HEALTH AND SAFETY

All relevant certification will be obtained from the Client and/or their agents and contractors regarding Health and Safety prior to any site works and Aeon Archaeology will conform to arrangements for notification of entering and leaving the site.

Aeon Archaeology will comply with the *Health and Safety at Work Act* (1974), the *Standing Conference of Archaeology Unit Managers Health and Safety Manual* (1991), *Control of Substances Hazardous to Health (COSHH) Regulations* (2002), *Construction Design and Management (CDM) Regulations* (2007), *Management of Health and Safety at Work Regulations* (1999), the *Work at Height Regulations* (2005), the *Confined Spaces Regulations* (1997), the *Personal Protective Equipment at Work Regulations* (2002) and the Council for British Archaeology Handbook No. 6, *Safety in Archaeological Fieldwork* (1989).

While carrying out the historic building recording Aeon Archaeology will operate in accordance with all applicable Health and Safety Legislation. A Health and Safety Plan (including a Risk Assessment) for the historic building recording will be prepared by Aeon Archaeology and submitted to the Client before the historic building recording commences.

The archaeologist(s) will be provided with all necessary protective clothing and equipment.

The archaeologist will wear a safety helmet and reflective jacket/waistcoat at all times on site.

A First-Aid Kit and Accident Book will be kept on site at all times for the duration of the historic building recording.

11.0 INSURANCE

Liability Insurance – Insignia Underwriting Policy 347002

Employers' Liability: Limit of Indemnity £10m in any one occurrence

Public Liability: Limit of Indemnity £2m in any one occurrence

Legal Defence Costs (Health and Safety at Work Act): £250,000

The current period expires 07/09/19

Professional Indemnity Insurance – Insignia Underwriting Policy 347002

Limit of Indemnity £500,000 any one claim

The current period expires 07/09/19

12.0 CONFIDENTIALITY

Aeon Archaeology will treat as confidential all information obtained directly or indirectly from the Client in connection with the historic building recording and will not, without the prior consent of the Client, disclose any information relating to the project or publicise the project in any way.

13.0 SOURCES CONSULTED

Chartered Institute for Archaeologists, 2014: Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures

English Heritage: Understanding Historic Buildings: a guide to good recording practice (2016)